

DONALD J. O'NEIL

COUNSELOR AT LAW
688 PLEASANT STREET
WORCESTER, MASSACHUSETTS 01602
TELEPHONE: 508-755-5655
FAX 508-755-9655



DONALD J. O'NEIL, ESQ.

DJO@ONEILBARRISTER.COM

March 26, 2024

City of Worcester Planning Board
455 Main Street, Room 404
Worcester, MA 01608

Received
APR 11 11:03 AM
Planning & Regulatory
City Clerk

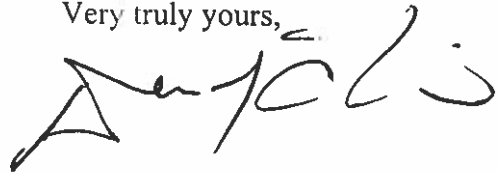
Re: 153 Green Street

Dear Planning Board Members,

I am writing on behalf of my client, 153 Green Street, LLC to seek approval of a further amendment Site Plan for the above referenced property. My client proposes to revise the previously approved Site Plan to add ten additional apartments, bringing the total unit count to fifty-three, by reconfiguring and repurposing the rear section of the ground floor of the building to create nine additional units while maintaining three commercial retail spaces along Green Street and by adding an additional unit to the second floor. This reconfiguration better utilizes the space available within the building and also provides an opportunity to add a community room and a private fitness center for residents on the ground floor level. I enclose updated architectural plans for the reconfiguration. Maintenance of the front roof line façade details previously discussed should still be possible with the revisions proposed. No changes are proposed to the

approved Civil Plan design. Kindly schedule this matter for the next Board Meeting scheduled for May 1, 2024. If you require anything further please let me know.

Very truly yours,

A handwritten signature in black ink, appearing to read "Donald J. O'Neil". The signature is written in a cursive style with a large initial "D" and "O".

Donald J. O'Neil



DEFINITIVE SITE PLAN AMENDMENT APPLICATION

CITY OF WORCESTER PLANNING BOARD
455 Main Street, Room 404, Worcester, MA 01608
Phone 508-799-1400 Ext. 31440 - Fax 508-799-1406

1. Name of Applicant: 153 Green Street, LLC

2. Address of Applicant: 345 Boylston Street, Suite 300, Newton, MA 02459 +

3. Telephone: (617) 224-2475 +

4. Interest in Property (check one):
A. Owner B. Developer C. Other

5. Owner of Record: _____
(If different from Applicant)

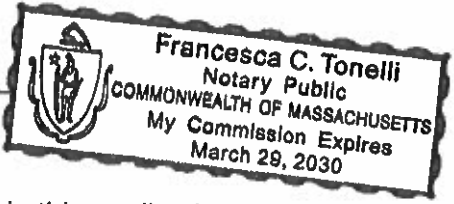
3. Address of Owner of Record: _____

7. AUTHORIZATION: I, Joseph W. Ahyon 153 Green Street, LLC, Owner of Record of the property listed with the Assessing Division of the City of Worcester, Massachusetts as Map 05 Block 005 Lot(s) 0001, do hereby authorize Donald J. O'Neil to file this application with the Division of Planning & Regulatory Services of the City of Worcester on this the 26th day of March, 2024.

On this 26th day of March, 2024, before me personally appeared Donald J O'Neil, to me known to be the person described in and who executed the foregoing instrument and acknowledged that he/she executed the same as his/her free act and deed.

Francesca C. Tonelli
NOTARY PUBLIC

My Commission Expires: 3-29-30



(If there is more than one owner of the land to be considered in this application, a notarized authorization is required for each owner.)

3. Street Address of the Property in this Application:
153 Green Street +

3. Legal Description of Property:
See deed recorded in Worcester District Registry of Deeds Book 69069, Page 60.

0. Zoning Classification(s):
BG-6.0 & CCOD-D

11. Present Use:

Vacant commercial building.

12. Zoning Relief Previously Granted (Variances, Special Permits with dates approved):
Unknown.

13. Development Contains the Following:

Residential

Number of Dwelling Units	<u>43</u>
Number of Buildings	<u>1</u>
Number of Parking Spaces	<u>0</u>

Non-Residential

Building Square Footage	<u> </u>
Number of Buildings	<u>1</u>
Number of Parking Spaces	<u>0</u>

14. Describe Proposed Use/General Description of Proposed Development of Property:

Mixed use development with commercial on the ground floor level along Green Street and residential apartments at the rear of the ground floor and above.

15. Describe proposed amendments to the approved Definitive Site Plan (may answer by attaching separate letter):

Applicant proposes to reconfigure available space to create ten additional residential apartments within the building while maintaining three retail spaces fronting on Green Street, including one space designed for possible restaurant use and two smaller retail spaces.



Assessing Division
 Samuel E. Konieczny, MAA, City Assessor
 City Hall, 455 Main Street, Worcester, MA 01608
 P | 508-799-1098 F | 508-799-1021
 assessing@worcesterma.gov

Certified Abutters List

A list of 'parties in interest' shall be attached to the application form and shall include the names and addresses. All such names and addresses shall be obtained from the most recent applicable tax list maintained by the City's Assessing Department. The Assessing Department certifies the list of names and addresses.

Total Count: 27

Parcel Address: 153 GREEN ST
 Assessor's Map-Block-Lot(s): 05-005-00001
 Owner: PARCEL 5 HOLDINGS LLC
 Owner Mailing: 11 BEACON ST, SUITE 325
BOSTON, MA 02108
 Petitioner (if other than owner): DONALD J O'NEIL
 Petitioner Mailing Address: 688 PLEASANT ST
WORCESTER, MA 01602
 Petitioner Phone: 508-755-5655

Planning: X Zoning: _____ License Commission: _____ Conservation Commission: _____
 Historical: _____ Cannabis: _____ Other: _____

05-004-15+24	GOLDMAN DANIEL H	0115 GREEN ST	WORCESTER MA 01604
04-021-19+25	DESJARDIN SEAN TRUSTEE	0010 HARRISON ST	WORCESTER MA 01604

The City of Worcester
Administration & Finance

05-004-22+23	ASH STREET LLC	4 ASH STREET	WORCESTER MA 01608
05-008-08+09	HESS RETAIL STORES LLC	539 SOUTH MAIN ST	FINDLAY OH 45840
04-022-15+16	CANAL DISTRICT PARTNERS LLC	0004 ASH ST	WORCESTER MA 01608
04-022-13+14	LORUSSO LEONARD J	0015 HARRISON ST #6	WORCESTER MA 01604
04-022-0001B	LORUSSO LEONARD J	0015 HARRISON ST #6	WORCESTER MA 01604
04-022-0001A	LORUSSO LEONARD J	0015 HARRISON ST #6	WORCESTER MA 01604
04-021-00020	LORUSSO LEONARD J	0015 HARRISON ST #6	WORCESTER MA 01604
05-005-00015	139 GREEN STREET WORCESTER LLC	0139 GREEN ST	WORCESTER MA 01604
04-021-00009	WHITE EAGLE ASSOCIATION OF	0118 GREEN ST	WORCESTER MA 01604
05-004-00014	THE GOLD BLOCK REAL ESTATE LLC	0175 PORTLAND ST FL4	BOSTON MA 02114
04-019-00033	PRIFTI NICHOLAS W + DINA C	0431 ROSEDALE RD	AUBURN MA 01501
04-021-00022	ORMOND MATTHEW J TRUSTEE	0112 GREEN ST	WORCESTER MA 01609
05-004-00017	8 GOLD REAL ESTATE LLC	0175 PORTLAND ST FL4	BOSTON MA 02114
05-004-00021	FLETCHER ALLEN W	0004 ASH ST	WORCESTER MA 01608
05-008-00002	NISA INC	0020 WESTWOOD DR	WORCESTER MA 01609
05-008-00010	J + K GAS INC	0072 SHREWSBURY ST STE 7	WORCESTER MA 01604
05-008-00011	TRAN Y THI	0010 MILLBURY ST	WORCESTER MA 01610
05-008-00024	K SQUARE REAL ESTATE LLC	0175 PORTLAND ST FL 4	BOSTON MA 02114
05-008-00027	MADISON REALTY LLC	2800 POST OAK BLVD STE 4200	HOUSTON TX 77056
04-022-00009	BAYSTATE INVESTMENT FUND LLC	0100 GROVE ST	WORCESTER MA 01605
05-007-00004	WORCESTER REDEVELOPMENT AUTHORITY	0455 MAIN ST CITY HALL 4TH FLR	WORCESTER MA 01608
04-022-00007	BAYSTATE INVESTMENT LLC	0100 GROVE ST	WORCESTER MA 01605
05-005-00001	PARCEL 5 HOLDINGS LLC	11 BEACON ST SUITE 325	BOSTON MA 02108
05-010-00001	MADISON WG HOLDINGS LLC	0667 BOYLSTON ST #201	BOSTON MA 02116
05-010-0001H	MADISON WASHINGTON HOLDINGS LLC	667 BOYLSTON ST #201	BOSTON MA 02116

This is to certify that the above is a list of abutters to Assessor's Map-Block-Lot's 05-005-00001 as cited above.

Certified by:



Signature

03/22/2024

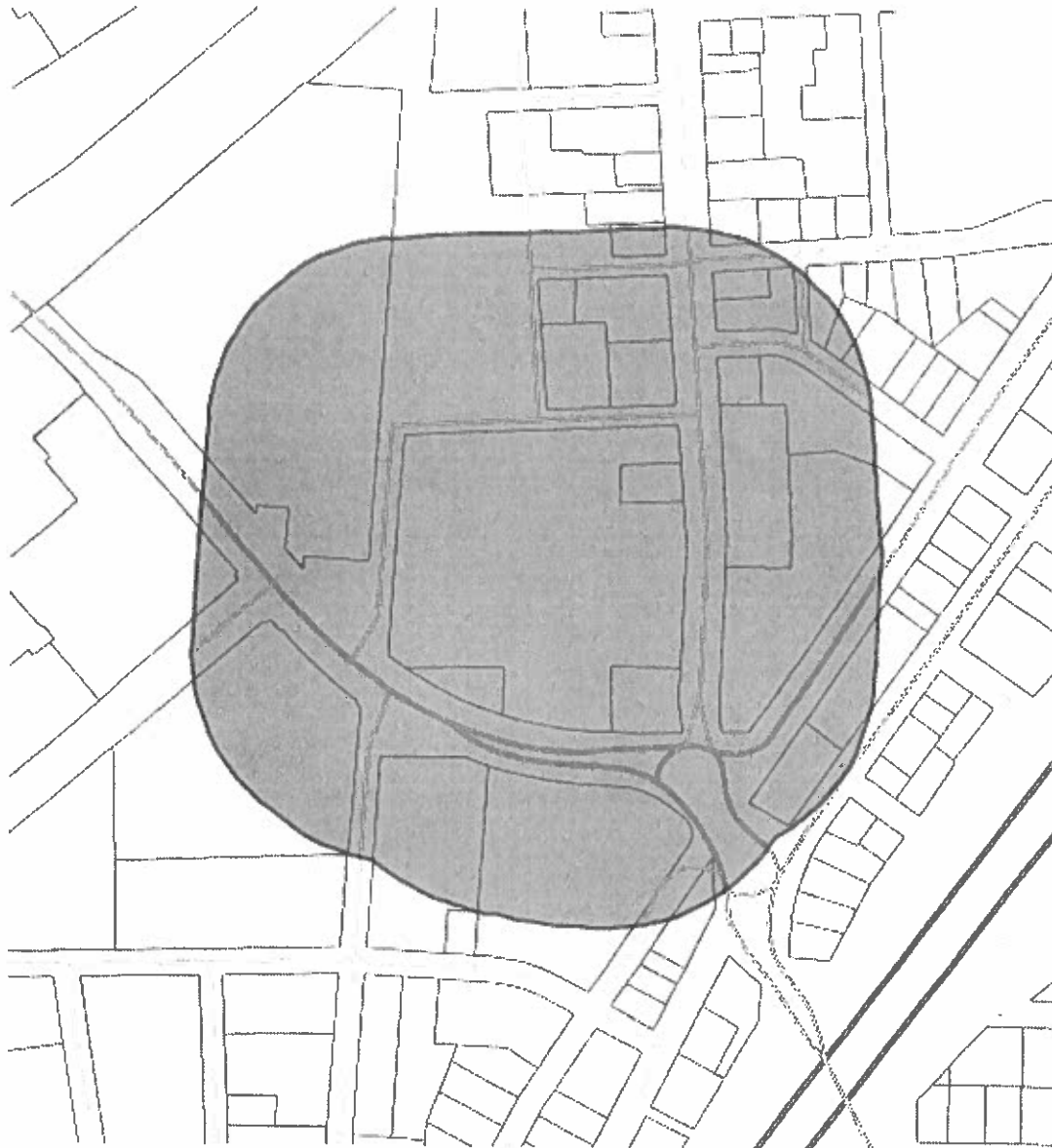
Date



The City of
WORCESTER

Assessing Division
Samuel E. Konieczny, MAA, City Assessor
City Hall, 455 Main Street, Worcester, MA 01608
P | 508-799-1098 F | 508-799-1021
assessing@worcesterma.gov

Abutters Map





DECISION – DEFINITIVE SITE PLAN AMENDMENT

Application:	Definitive Site Plan Amendment	File #:	PB-2023-093
Subject Property:	153 Green Street	Map Block Lot #:	05-005-00001
Applicant(s):	153 Green Street LLC	Property Owner:	Same
Zoning District(s):	BG-6.0 (Business General); Commercial Corridor Overlay District – Downtown (CCOD-D); Blackstone Canal Sign Overlay District (DSOD)	Review Trigger:	>5 DU
Existing:	Presently on the premises is a two-story commercial building previously approved for renovation, with a 2-story addition above the existing roof, into ±53 units of residential dwellings and ±12,000 SF of ground floor commercial space.		
Proposed:	The applicant seeks to modify the approval to eliminate the 2-story addition and reduce the residential component of the project from the previously approved ±53 dwelling units to ±43 dwelling units, with ±12,400 SF of ground floor to remain commercial, and to conduct associated site improvements.		
Plan Preparer:	Engineering Alliance, Inc.	Plan Date:	dated 03/29/2023; revised 10/25/2023
Meeting date(s):	November 1, 2023	Board Action:	Approved 4-0 (Moynihan) with conditions

Conditions of Approval:

Prior to the release of the decision, issuance of a building permit, or commencement of site work (whichever occurs first):

1. Provide one (1) copy of revised site plans (1 full-sized stamped and signed original) and a complete architectural plan set, and a PDF file of each of the same, to the Division of Planning & Regulatory Services reflecting the following, as applicable:

Architectural Plans

- a. The applicant shall maintain or replace in-kind the existing cornice, dentals, and brackets along the roofline, except areas required to be removed to accommodate new window openings.
- b. Label exterior materials along the west elevation and for the awnings.
- c. Notate that any rooftop equipment shall be screened.

- d. Reflect incorporation of additional windows along the ground-floor to increase glazing and activation along the future Spruce Street.

Civil:

- e. Reflect any proposed awnings in compliance with zoning requirements (along Spruce Street).
- f. Reflect alternate hardscaping/landscaping for a future dining configuration at the southern end of the alley.
- g. Reconcile overhead door locations with architectural plans.
- h. Reflect that the pavement shall provide a minimum 3' pervious buffer from the southern property line.
- i. Provide evidence of function of the narrowed loading aisle via an auto turn analysis. If maneuvers are not viable the proposed walkway surfacing shall be concrete and the alley shall reflect landscaping/hardscaping and closure of the proposed curb-cut on the future Spruce Street in favor of a rear pedestrian environment.
- j. Clarify the location of the proposed metal picket fence.
- k. Reflect changes in grading in the southwestern corner of the site.

Circulation

- l. Reflect use of removable bollards or an audible/visual warning system at the sidewalk adjacent to the commercial and emergency vehicle access with a detail acceptable to the Department of Transportation and Mobility and Worcester Fire Departments.
- m. Eliminate the rear pedestrian corridor striping in compliance with requirements for emergency egress which may otherwise be required by code.
- n. Shift the curb cut to 1-2' to the east to better align the curb cut and drive aisle.
- o. If the auto turn analysis shows vehicular maneuvers into the alley is not viable, and the applicant prefers to maintain vehicular access, reflect shifting of the transformer back to allow 30-40" from the property line to enable a box truck to enter and exit the site.

DTM

- p. Requests that in order to improve pedestrian & bike safety and access:
 - i. In the event the sidewalk is damaged or altered by construction activity, the project be required to construct an ADA compliant cement concrete sidewalk with granite curbing along their property line to City Specifications to match materials in the site location
 - ii. The project be required to construct all sidewalks across driveways at sidewalk level with driveways sloping down to street level after the compliant path of travel and constructed in the same material as the sidewalk to City Specifications to match materials in the site location
 - iii. The project be required to include removable bollards and an Audible & Visual warning system at the driveway location for commercial vehicles (section cc in the May 17, 2023 Definitive Site Plan Decision)
- q. Requests that the project proponent:
 - i. Be required to provide an Autoturn analysis demonstrating that a SU-30 Delivery truck OR a Trash Truck can turn into and exit the alleyway with the proposed

transformer location. If this movement is unable to be made, as proposed, the transformer shall be shifted inward or eliminated.

- ii. Be required to provide the number of internal bike parking spaces that they expect to supply in the room and that it be a sufficient number to meet the demand of 43 residential units

Prior to and continuing during all construction activities:

2. Construction activities shall be conducted in compliance with the Construction Management Plan on file with the City of Worcester.
3. Appropriate soil erosion and sedimentation control measures including hay bales and silt fences, shall be installed and maintained subject to the oversight and direction of the Commissioner of Inspectional Services.
4. All tree and stump removal shall be in accordance with the Asian Longhorned Beetle program requirements and all new trees and shrub plantings shall be Asian Longhorned Beetle and Emerald Ash Borer resistant.
5. All work shall conform to the City of Worcester's Zoning Ordinance, Planning Board decision and conditions of approval, and to the standards contained in the City of Worcester, Department of Public Works & Parks, Engineering Division, Construction Management Section, STANDARD SPECIFICATIONS & DETAILS, most recent edition.

Perpetual:

6. Fixtures if proposed or replaced shall be dark-sky compliant and/or shielded to minimize spillover and be of a warmer temperature (3,000K or less) – does not apply to streetlights that comply with current city specifications.
7. All parking spaces shall be striped in accordance with the plans and accessible spaces placarded as required by the Architectural Access Board. Compact spaces shall be striped or placarded accordingly.
8. Drive aisles, landscaped setback areas and required parking spaces shall not be used for snow storage and, once all designated snow storage areas reach capacity, snow shall be trucked off-site.
9. Provided that the project is constructed and operated in substantial accordance with final revised plans, including architectural renderings, calculations, and operation and maintenance plans and schedules, on file with the City of Worcester and in accordance with all applicable governmental codes.

No Waivers Granted

Authorized Signature,

DATE _____

Michelle M. Smith, *Assistant Chief Development Officer*
on behalf of the Worcester Planning Board

REMINDERS

Time Limitations: Approval under this article shall become invalid unless the work or action authorized by it shall commence within one year after the Planning Board has granted such approval and thereafter shall proceed in good faith continuously to completion so far as is reasonably practicable under the circumstances. Per Article V, Section 3F "Site Plan Review" of the City of Worcester Zoning Ordinance.

Landscaping Requirements: Required landscaping shall be maintained in a healthy growing condition, free of refuse and debris, and any plantings that do not survive shall be replaced in kind by the applicant or the property owner within a reasonable period of time. All plant materials and fencing shall be arranged and maintained so as not to obscure the vision of traffic. Per Article V, Section 5, C. iv of the City of Worcester Zoning Ordinance.

Construction Noise: No person shall operate any powered construction equipment or build, erect, construct, demolish, alter, repair, excavate or engage in hoisting, grading, site work, including tree and brush removal, dredging or pneumatic hammering, or deliver construction equipment and/or supplies to the site on any building, road, tower, parking lot, machine, pipe, sewer, sidewalk, or any other construction project, except between the hours of 7:00 a.m. and 9:00 p.m. on weekdays and Saturdays, and between the hours of 9:00 a.m. and 7:00 p.m. on Sundays....Per Chapter 9 Section 1A (e) (9) of the City of Worcester's Ordinance Relative to Excessive and Unreasonable Noise.

DRAFT

DONALD J. O'NEIL

COUNSELOR AT LAW
688 PLEASANT STREET
WORCESTER, MASSACHUSETTS 01602
TELEPHONE: 508-755-5655
FAX 508-755-9655

DONALD J. O'NEIL, ESQ.

DJO@ONEILBARRISTER.COM

October 10, 2023

City of Worcester Planning Board
455 Main Street, Room 404
Worcester, MA 01608

Re: 153 Green Street

Dear Planning Board Members,

I am writing on behalf of my client, 153 Green Street, LLC to seek approval of an amended site plan for the above referenced property. My client proposes to revise the previously approved Site Plan for the site by eliminating the two additional stories proposed for the existing structure and reconfiguring the space within the existing building to create a mixed use development with ground floor commercial/retail space with two stories above for residential use. This change will reduce the total residential unit count by 10 units from 53 to 43. No change to the civil site plan previously submitted and approved is proposed. My client is under some pressure, given the partial demolition that has already occurred on site, to secure your approval for the revised proposal so that further work on the structure can be completed before the onset of Winter. If you need anything further, please let me know and I will do my best to respond in a timely fashion.

Very truly yours,



Donald J. O'Neil



DEFINITIVE SITE PLAN AMENDMENT APPLICATION

CITY OF WORCESTER PLANNING BOARD
455 Main Street, Room 404, Worcester, MA 01608
Phone 508-799-1400 Ext. 31440 - Fax 508-799-1406

1. Name of Applicant: 153 Green Street, LLC

2. Address of Applicant: 345 Boylston Street, Suite 300, Newton, MA 0249

3. Telephone: (617) 224-2475

4. Interest in Property (check one):
A. Owner B. Developer C. Other

5. Owner of Record: _____
(If _____ different from Applicant)

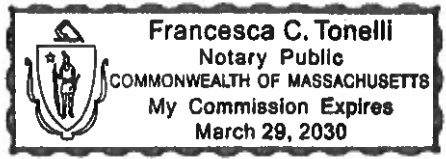
6. Address of Owner of Record: _____

7. AUTHORIZATION: I, Donald J. O'Neil, Owner of Record of the property listed with the Assessing Division of the City of Worcester, Massachusetts as Map 05 Block 005 Lot(s) 0001, do hereby authorize Donald J. O'Neil to file this application with the Division of Planning & Regulatory Services of the City of Worcester on this the 10th day of October 10, 2023.

On this 10th day of October, 2023, before me personally appeared Donald O'Neil, to me known to be the person described in and who executed the foregoing instrument and acknowledged that he/she executed the same as his/her free act and deed.

Francesca Tonelli
NOTARY PUBLIC

My Commission Expires: 3/29/30



(If there is more than one owner of the land to be considered in this application, a notarized authorization is required for each owner.)

3. Street Address of the Property in this Application:
153 Green Street

3. Legal Description of Property:
See deed recorded in Book 69069, Page 60

10. Zoning Classification(s):
(BG-6.0) and CCOD-D

11. Present Use:
Vacant commercial property.

12. Zoning Relief Previously Granted (Variances, Special Permits with dates approved):
Unknown.

13. Development Contains the Following:

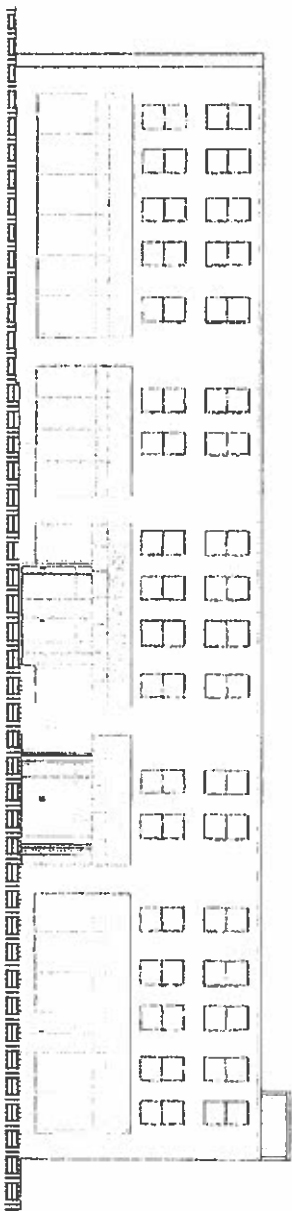
Residential
Number of Dwelling Units 43
Number of Buildings 1
Number of Parking Spaces 0

Non-Residential
Building Square Footage _____
Number of Buildings _____
Number of Parking Spaces _____

14. Describe Proposed Use/General Description of Proposed Development of Property:
Convert existing vacant building to mixed use with commercial space on the first floor and two stories of residential space above.

15. Describe proposed amendments to the approved Definitive Site Plan (may answer by attaching separate letter):
Eliminate proposed addition of two stories previously approved and work within the existing structure to create 43 apartment units. Previous Site Plan Approval obtained for 53 residential units with first floor commercial space below.

153 GREEN STREET WORCESTER, MASSACHUSETTS



DRAWING LIST

- A0 TITLE SHEET
- A1 EXISTING 1st FLOOR PLAN
- A2 EXISTING 2nd FLOOR PLAN
- A3 PROPOSED 1st FLOOR PLAN
- A4 PROPOSED 2nd FLOOR PLAN
- A5 PROPOSED 3rd FLOOR PLAN
- A6 PROPOSED ROOF PLAN
- A7 EXISTING EAST & SOUTH ELEVATIONS
- A8 EXISTING WEST & NORTH ELEVATIONS
- A9 PROPOSED EAST & SOUTH ELEVATIONS
- A10 PROPOSED WEST & NORTH ELEVATIONS

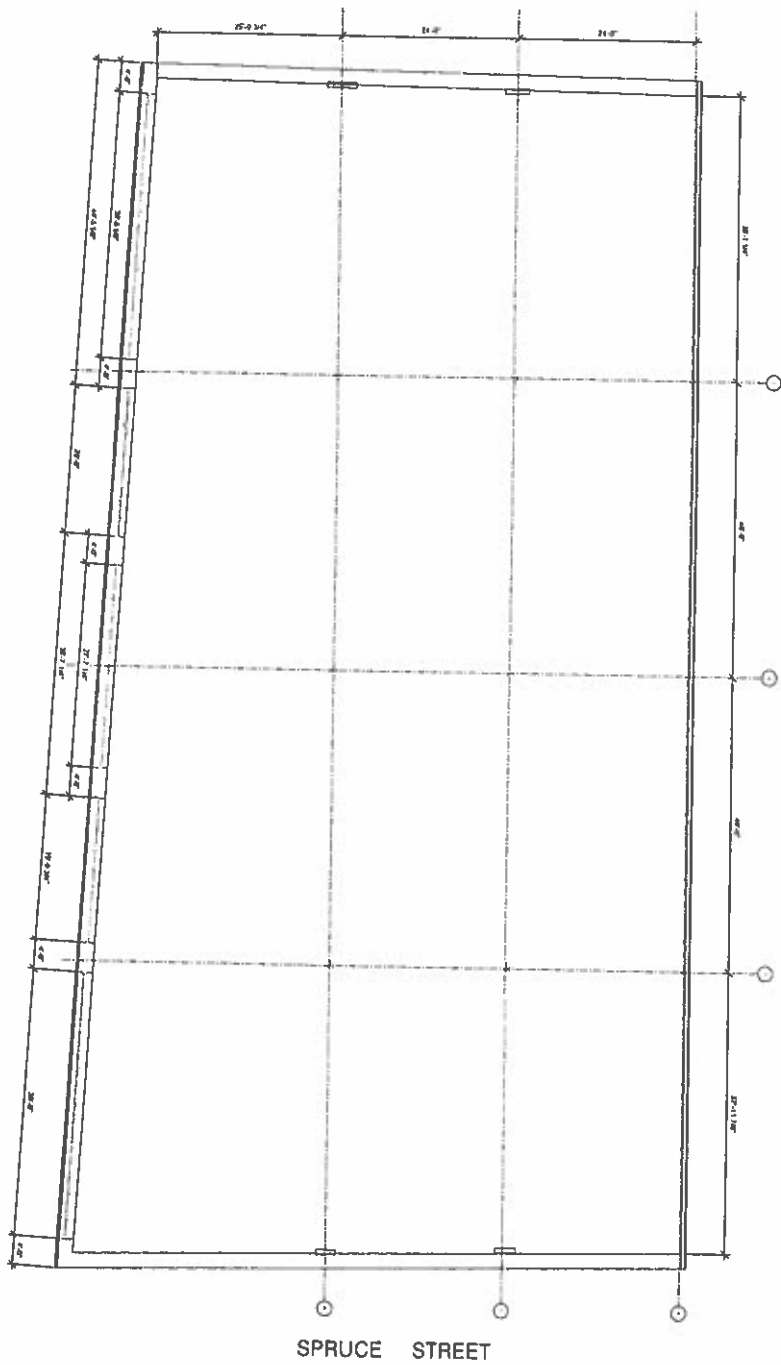


PAUL R. LESSARD
 • REGISTERED ARCHITECT •
 13 STATION ROAD SALEM, MA 01970

TABLE TALK BUILDING
 153 GREEN STREET
 WORCESTER, MASSACHUSETTS

A0

DRAWING NUMBER
 PROJECT NUMBER
 DATE: 10/1/77
 SCALE: AS NOTED
 DRAWN: PRL
 CHECK:



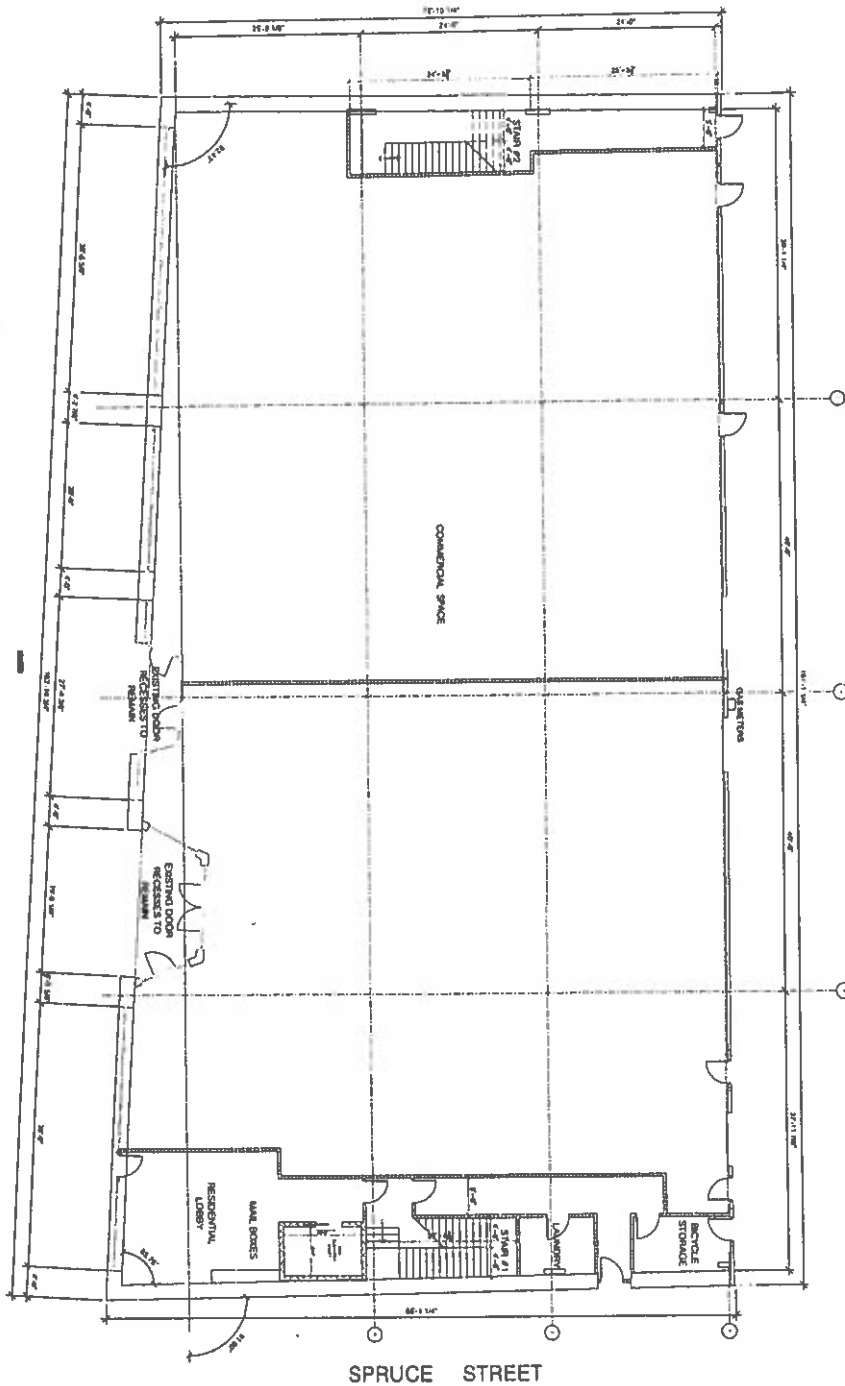
GREEN STREET

SPRUCE STREET

⊕ EXISTING 2nd FLOOR PLAN
1/8" = 1'-0"



A2	PROJECT NUMBER:	TABLE TALK BUILDING 153 GREEN STREET WORCESTER, MASSACHUSETTS	PAUL R. LESSARD • REGISTERED ARCHITECT • 13 STATION ROAD SALEM, MA 01970
	DATE: 10/6/73		
DRAWN: TRL	SCALE: AS NOTED		
CHECK:			
DESIGN NUMBER:			



GREEN STREET

PROPOSED 1ST FLOOR PLAN
1/8" = 1'-0"

SPRUCE STREET



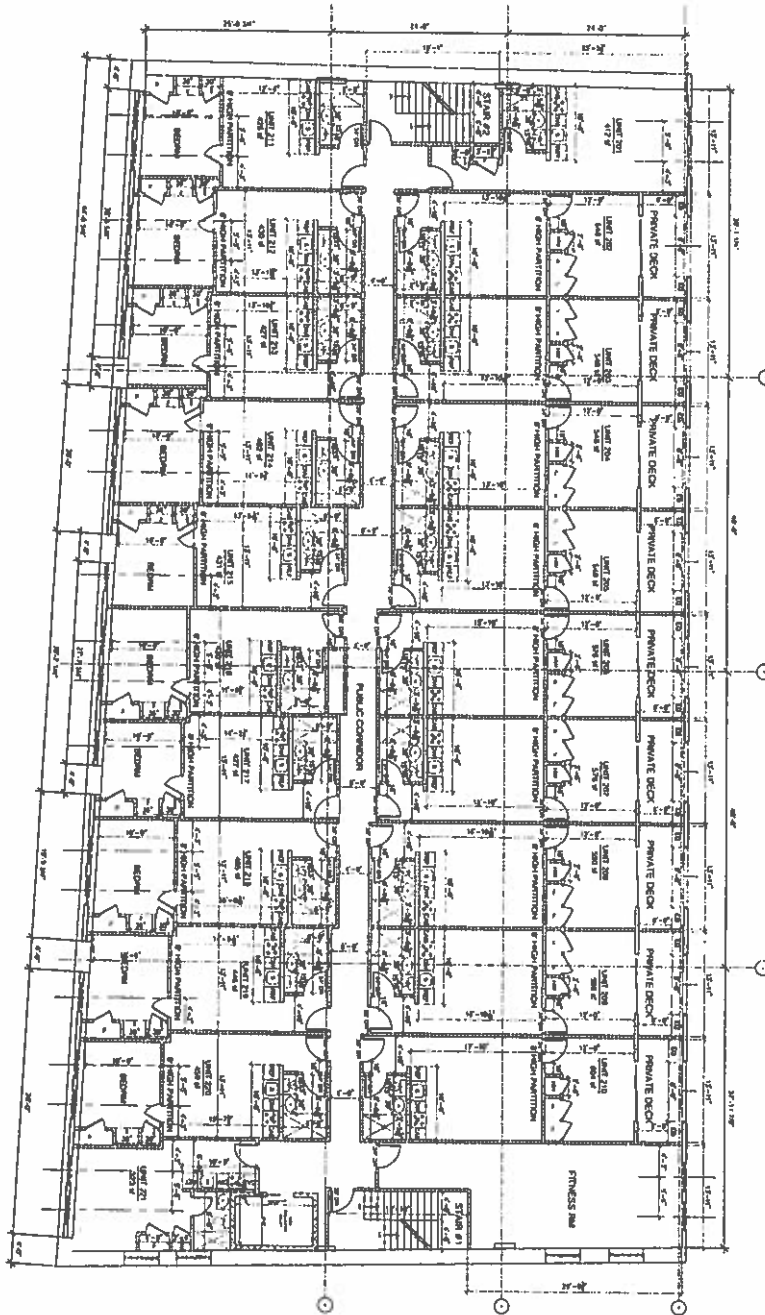
A3

PROJECT NUMBER: 107/97
DATE: 10/97
SCALE: AS SHOWN
DRAWN: [initials]
CHECKED: [initials]
DRAWING NO.

REVISIONS

TABLE TALK BUILDING
153 GREEN STREET
WORCESTER, MASSACHUSETTS

PAUL R. LESSARD
• REGISTERED ARCHITECT •
13 STATION ROAD SALEM MA 01970



SPRUCE STREET

PROPOSED 2nd FLOOR PLAN
1/8"=1'-0"



A4

PROJECT NUMBER:
DATE: 10/9/23
SCALE: AS NOTED
DRAWN: PRL
CHECK:

REVISIONS:

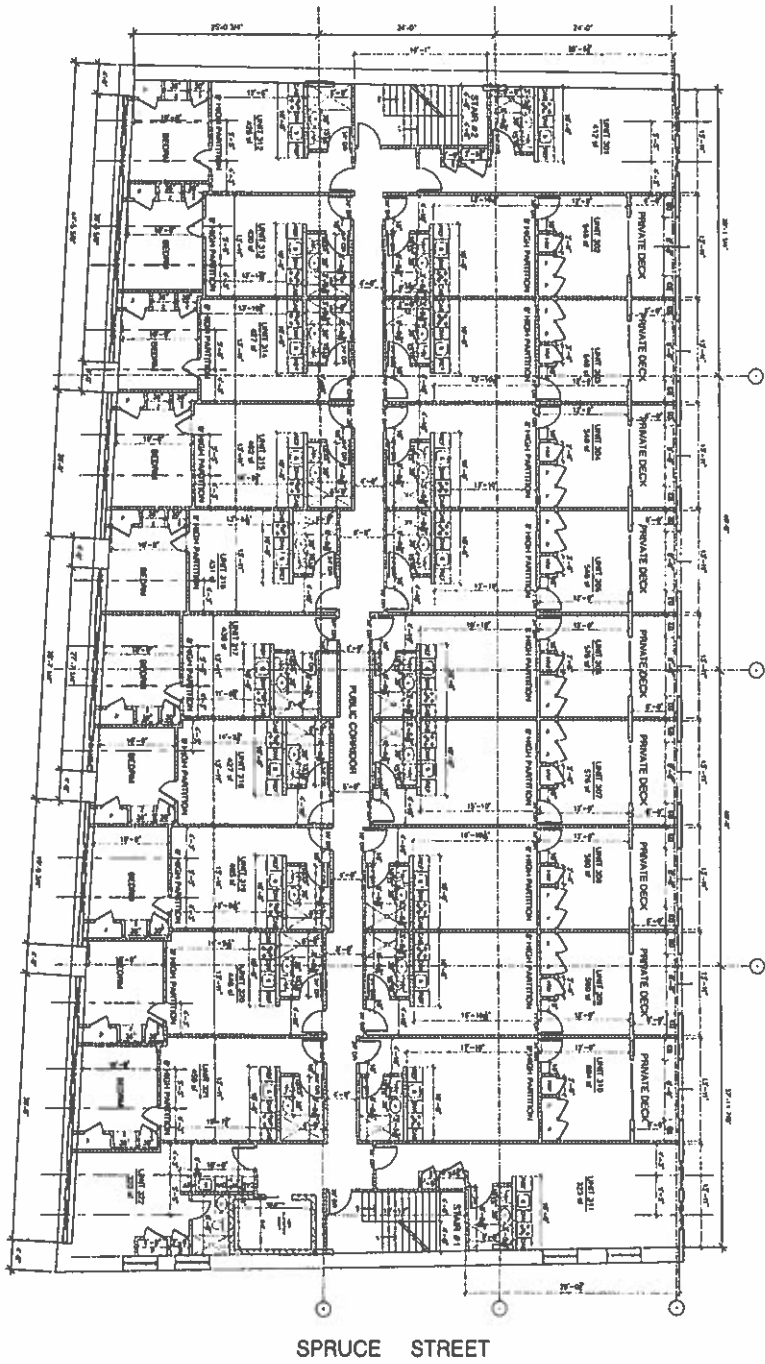
TABLE TALK BUILDING
153 GREEN STREET
WORCESTER, MASSACHUSETTS

PROPOSED 2nd FLOOR PLAN

PAUL R. LESSARD

• REGISTERED ARCHITECT •

13 STATION ROAD SALEM, MA 01970



GREEN STREET

SPRUCE STREET

1 PROPOSED 3rd FLOOR PLAN
1/8" = 1'-0"

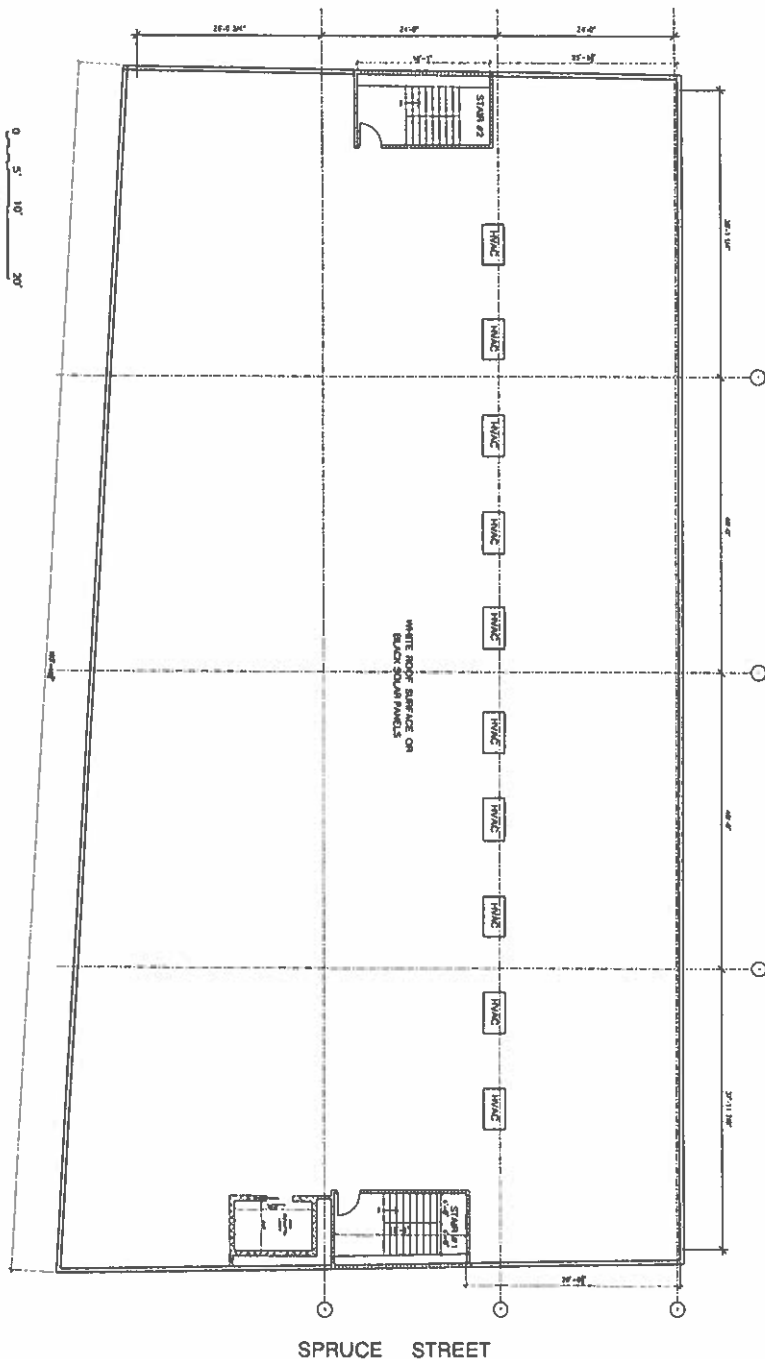


A5

PROJECT NUMBER: DATE: 10/2/21
SCALE: AS SHN
CHECK: PRL

TABLE TALK BUILDING
153 GREEN STREET
WORCESTER, MASSACHUSETTS
PROPOSED 3rd FLOOR PLAN

PAUL R. LESSARD
• REGISTERED ARCHITECT •
13 STATION ROAD SALEM, MA 01970



0 5 10 20
SCALE 1/8"=1'-0"

GREEN STREET

1 PROPOSED ROOF PLAN
1/8"=1'-0"

SPRUCE STREET



A6

PROJECT: TABLE TALK BUILDING
DATE: 10/8/23
SCALE: AS NOTED
DRAWING: PRL
CHECK:

REVISIONS:

TABLE TALK BUILDING
153 GREEN STREET
WORCESTER, MASSACHUSETTS
PROPOSED ROOF PLAN

PAUL R. LESSARD
• REGISTERED ARCHITECT •
13 STATION ROAD SALEM, MA 01970



1 EXISTING EAST ELEVATION
1/8" = 1'-0"



2 EXISTING SOUTH ELEVATION
1/8" = 1'-0"

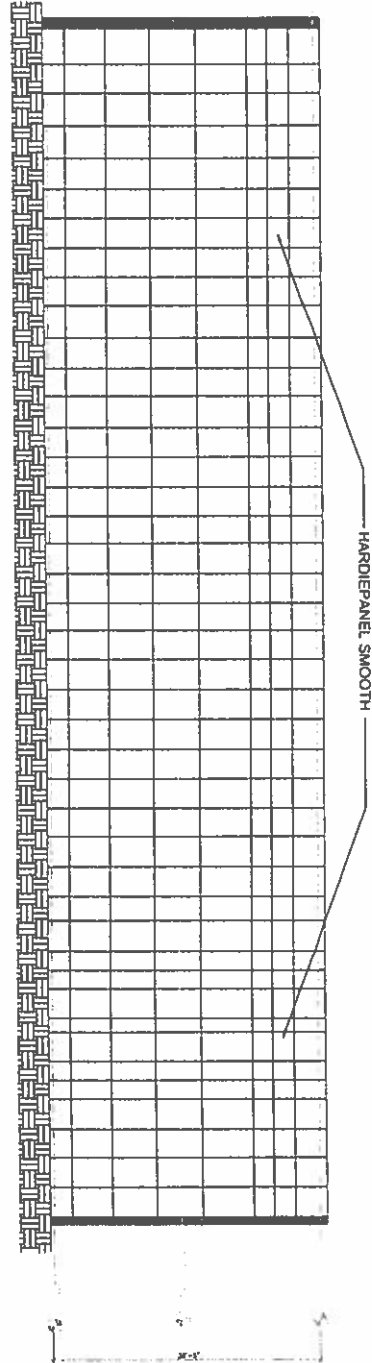


PAUL R. LESSARD
 • REGISTERED ARCHITECT •
 13 STATION ROAD SALEM, MA 01970

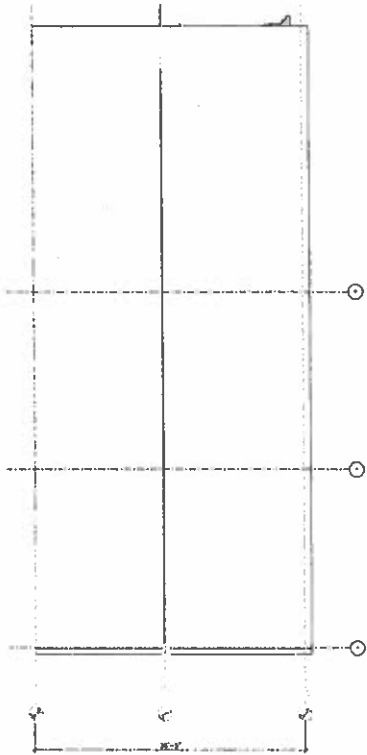
TABLE TALK BUILDING
 153 GREEN STREET
 WORCESTER, MASSACHUSETTS
 EXISTING EAST & SOUTH EXTERIOR ELEVATIONS

REVISIONS:
 PROJECT NUMBER:
 DATE: 10/6/73
 SCALE: AS NOTED
 DRAWN: PRL
 CHECK:

DATE: 10/6/73
 SCALE: AS NOTED
 DRAWN: PRL
 CHECK:
 DRAWING NUMBER:
A7



1
1/8" = 1'-0"
EXISTING WEST ELEVATION



2
1/8" = 1'-0"
EXISTING NORTH ELEVATION



A8

DRAWING NUMBER
PROJECT NUMBER
DATE 10/9/21
SCALE AS SHOWN
DRAWN BY PRL
CHECKED

REVISIONS:

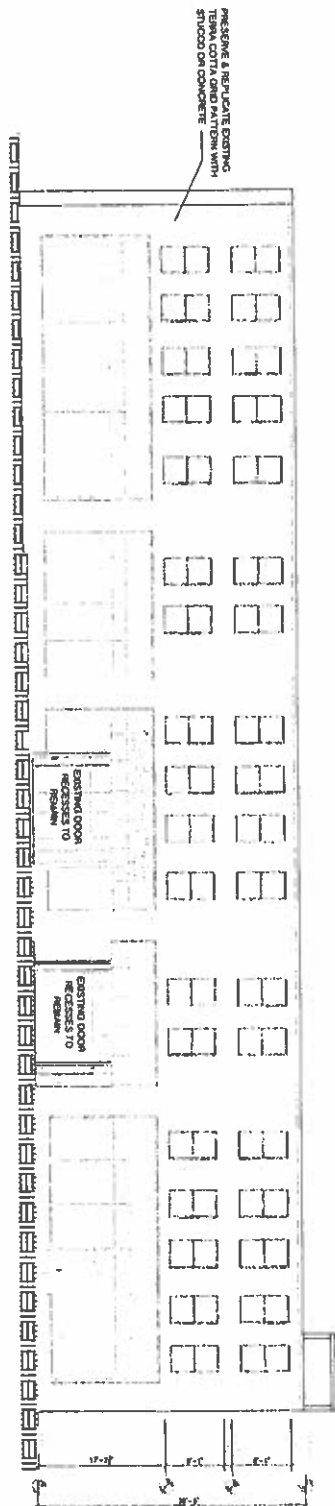
TABLE TALK BUILDING
153 GREEN STREET
WORCESTER, MASSACHUSETTS

EXISTING WEST & NORTH EXTERIOR ELEVATIONS

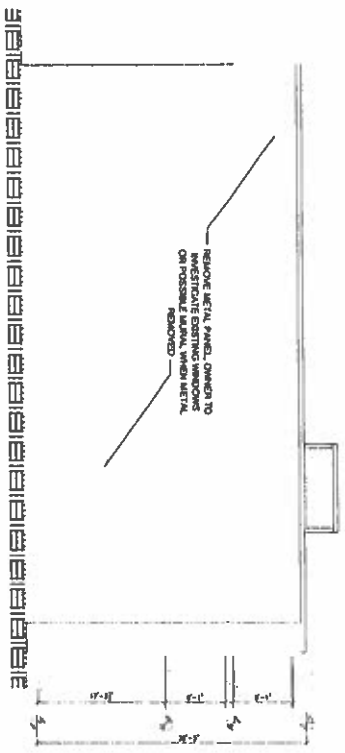
PAUL R. LESSARD

• REGISTERED ARCHITECT •

13 STATION ROAD SALEM, MA 01970



1
1/8" = 1'-0"
PROPOSED EAST ELEVATION



2
1/8" = 1'-0"
PROPOSED SOUTH ELEVATION



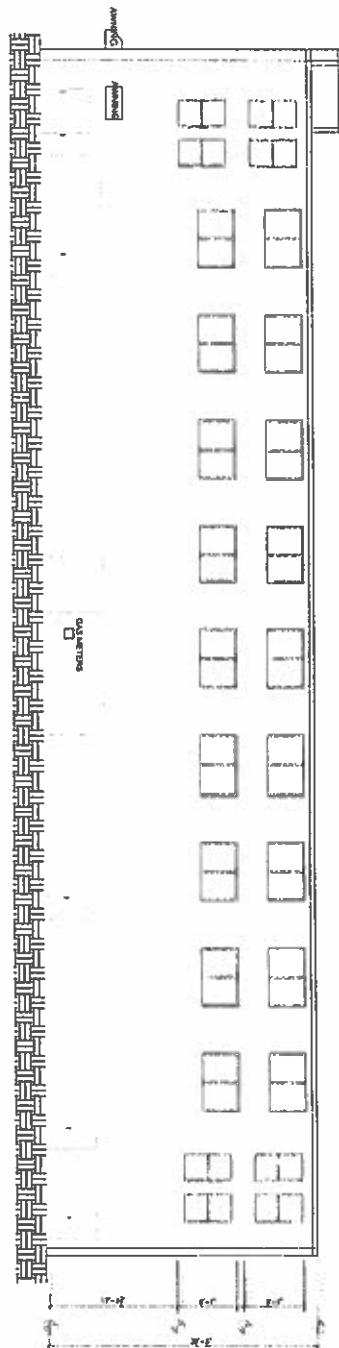
PAUL R. LESSARD
 • REGISTERED ARCHITECT •
 13 STATION ROAD SALEM MA 01970

TABLE TALK BUILDING
 153 GREEN STREET
 WORCESTER, MASSACHUSETTS
 PROPOSED EAST & SOUTH EXTERIOR ELEVATIONS

REVISIONS:
 PROJECT NUMBER:
 DATE: 10/9/23
 SCALE: AS NOTED
 DRAWN: PRL
 CHECK:

A9

DRAWING NUMBER



1
1/8" = 1'-0"
PROPOSED WEST ELEVATION



1
1/8" = 1'-0"
PROPOSED NORTH ELEVATION



A10

DRAWING NUMBER
PROJECT
DATE 10/6/21
SCALE AS NOTED
DRAWING: PRL
CHECK:

REVISIONS:

TABLE TALK BUILDING
153 GREEN STREET
WORCESTER, MASSACHUSETTS
PROPOSED WEST & NORTH EXTERIOR ELEVATIONS

PAUL R. LESSARD
• REGISTERED ARCHITECT •
13 STATION ROAD SALEM, MA 01970



DECISION – DEFINITIVE SITE PLAN

Application(s):	Definitive Site Plan	File #:	PB-2023-038
Subject Property:	153 Green Street (aka 120 Washington Street)	Map Block Lot #:	05-005-00001
Applicant(s):	153 Green Street LLC	Property Owner(s):	Same
Zoning District(s):	BG-6.0 (Business General); Commercial Corridor Overlay District -- Downtown (CCOD-D); Blackstone Canal Sign Overlay District (DSOD)	Review Trigger:	>5 DU
Existing:	Presently on the premises is a two-story commercial building.		
Proposed:	The applicant seeks to redevelop the existing building into +/-12,400 SF of ground-floor commercial space and to add two stories of residential units for a total of +/-53 dwelling units with associated site improvements.		
Plan Preparer:	Engineering Alliance, Inc.	Plan Date:	Dated 03/29/2023; revised 05/12/2023
Architectural Plan Preparer:	Paul R. Lessard	Plan Date:	04/21/2022
Meeting date(s):	May 17, 2023	Board Action:	Approved 4-0 (LaValley absent) with conditions

Conditions of Approval:

Prior to the release of the decision, issuance of a building permit, or commencement of site work (whichever occurs first):

1. Provide one (1) copy of revised site plans (1 full-sized stamped and signed original) and a complete architectural plan set, and a PDF file of each of the same, to the Division of Planning & Regulatory Services reflecting the following, as applicable:
 - a. Provide a plant schedule for rooftop plantings and surface treatments and related drainage.
 - b. Revise photometric plan to model lighting in abutting rights-of-way and model those proposed within Spruce Street; there must be a minimum 0.5 fc at all entrances and points of vehicular/pedestrian conflict.
 - c. Provide cut sheets for proposed lighting fixtures should be provided demonstrating warm (less than 3000K) temperature and dark sky-compliance.
 - d. Maintain an entrance on Spruce Street as shown on the site plans, which either recessed doors or in-swinging doors.
 - e. Maintain recessed entryways on Green Street.
 - f. Reflect removal of bollard at corner of Green Street and Spruce Street.

Office of the City of Worcester Planning Board c/o Planning & Regulatory Services Division
City Hall, 455 Main Street, Room 404 (4th floor), Worcester, MA 01608

- g. Reflect inlet protection for proposed Spruce Street inlets.
- h. Reflect the location of the new addition and any roof-overhangs on the civil plan to demonstrate that the addition is located wholly on the subject property (i.e. is outside of the right-of-way) in compliance with zoning requirements.
- i. Provide evidence of authority to install the short retaining wall to the southwest off-property and provide a copy of a recorded agreement clarifying responsibilities associated with maintenance.

Rear Alley

- j. Reduce width of driveway opening to alley to 12' to minimize pedestrian crossing distance unless width necessary for vehicle movements.
- k. Emphasize the "No Parking" aisle with an alternative material or other visual separation to create a clear walking path.
- l. Shift gas meters farther from Spruce Street and reflect them on the architectural plans.
- m. Reflect grass, washed stone, or other pervious surface at the western end of the alley around transformers where feasible.
- n. Provide detail and materials plan for wall at southern end of the rear alley, including top and bottom elevations.
- o. Reflect that alley shall be for commercial deliveries (no ride-share services) to back-in only, with an appropriate visual and auditory warning system.

Architectural Plans

- p. Reconcile architectural plans with site plans with regard to rear loading doors.
- q. Reconcile architectural plans with site plans with regard to the door on Spruce Street; door should either be recessed or swing inward to avoid conflict with pedestrians on the sidewalk.
- r. Reflect use of white or reflective roof treatment or solar.
- s. Clarify that the front door entry recesses shall remain.
- t. Provide an awning or other architectural feature that emphasizes the residential entrance at the rear alley and side along Spruce Street.
- u. Reflect preservation, or replication if preservation is not possible or feasible, of the parapet wall and corbeled cornice along the façade (Green Street and Spruce Street elevation).
- v. Reflect replication of the existing terracotta grid pattern along the façade (Green Street) of the existing building.
- w. Reflect that there will be a small step-back of the proposed addition along Green Street to differentiate the historic building from the new addition as visible from the abutting streets.
- x. Reflect that upper stories shall be set back to be out of Green Street ROW.
- y. Reflect use of yellow, buff, or blonde brick instead of red brick along Green Street, and match any painted brick.
- z. Propose a change in color or hue for the addition to better distinguish the existing building from the proposed addition on Spruce Street and consider incorporation of a mural into the area where vertical metal paneling is proposed.
- aa. Reflect removal of metal siding on the Madison Street elevation, incorporating a mural or windows (if openings were historically present).

Circulation:

- bb. Provide a traffic study reflecting a scope acceptable to the Department of Transportation and Mobility to understand effects on safety and LOS for traffic existing to Green Street, parking overall at the development, and a discussion of ped and nonmotorized access.
- cc. Reflect use of removable bollards or an audible/visual warning system at the sidewalk adjacent to the commercial and emergency vehicle access with a detail acceptable to the Department of Transportation and Mobility and Worcester Fire Departments.
- dd. Provide a construction period traffic management plan for construction vehicles and parking for workers, including but not limited to the following:
 - i. Appropriate pedestrian diversion facilities that maintain circulation along Green Street to the greatest extent practicable, including ensuring pedestrian circulation can occur below any scaffolding approved to be located within the right of way.
 - ii. Designated parking arrangements for construction workers, utilizing off-street parking.
 - iii. Construction vehicle routes and designated on-site un/loading areas.
 - iv. Coordination of delivery schedules to arrange, to the maximum extent practical, off-set from peak hours and coordinated to prevent queuing of trucks.
 - v. Staging areas.

DPW Comments

- ee. Use City of Worcester catch basins.
- ff. Use DR-18 PVC for catch basin connections.
- gg. Catch basins should connect directly to a manhole.
- hh. Verify the need for an 8" sewer connection.
- ii. Provide details for all proposed utilities.

Prior to and continuing during all construction activities:

- 2. Appropriate soil erosion and sedimentation control measures including hay bales and silt fences, shall be installed and maintained subject to the oversight and direction of the Commissioner of Inspectional Services.
- 3. All tree and stump removal shall be in accordance with the Asian Longhorned Beetle program requirements and all new trees and shrub plantings shall be Asian Longhorned Beetle and Emerald Ash Borer resistant.
- 4. All work shall conform to the City of Worcester's Zoning Ordinance, Planning Board decision and conditions of approval, and to the standards contained in the City of Worcester, Department of Public Works & Parks, Engineering Division, Construction Management Section, STANDARD SPECIFICATIONS & DETAILS, most recent edition.

Perpetual:

- 5. Fixtures if proposed or replaced shall be dark-sky compliant and/or shielded to minimize spillover and be of a warmer temperature (3,000K or less) – does not apply to streetlights that comply with current city specifications.
- 6. All parking spaces shall be striped in accordance with the plans and accessible spaces placarded as required by the Architectural Access Board. Compact spaces shall be striped or placarded accordingly.
- 7. Drive aisles, landscaped setback areas and required parking spaces shall not be used for snow storage and, once all designated snow storage areas reach capacity, snow shall be trucked off-site.
- 8. Provided that the project is constructed and operated in substantial accordance with final revised plans, including architectural renderings, calculations, and operation and maintenance plans and

schedules, on file with the City of Worcester and in accordance with all applicable governmental codes.

Waivers

None

Authorized Signature,



DATE 5/18/2023

Michelle Smith, Assistant Chief Development Officer
on behalf of the Worcester Planning Board

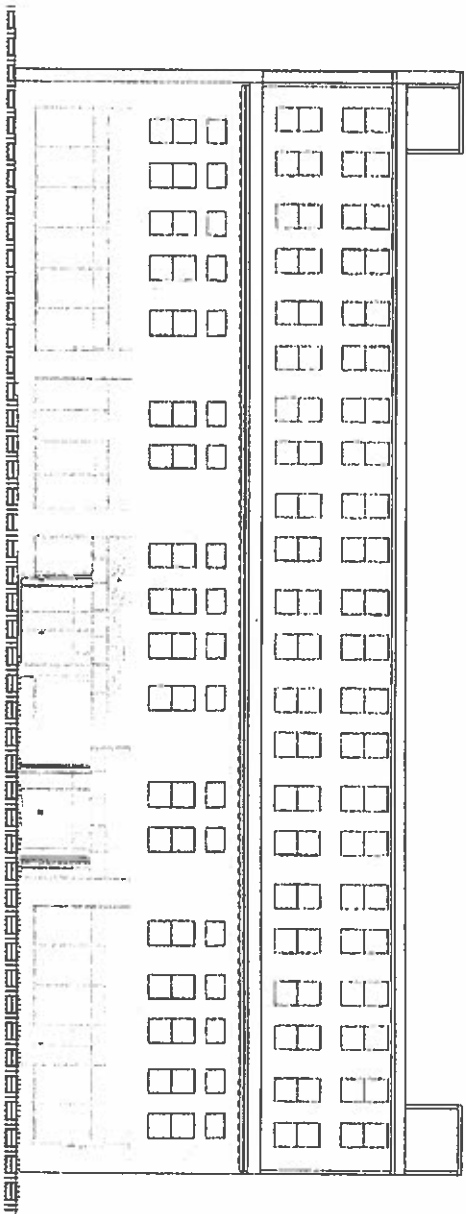
REMINDERS

Time Limitations: Approval under this article shall become invalid unless the work or action authorized by it shall commence within one year after the Planning Board has granted such approval and thereafter shall proceed in good faith continuously to completion so far as is reasonably practicable under the circumstances. Per Article V, Section 3F 'Site Plan Review' of the City of Worcester Zoning Ordinance

Landscaping Requirements: Required landscaping shall be maintained in a healthy growing condition, free of refuse and debris, and any plantings that do not survive shall be replaced in kind by the applicant or the property owner within a reasonable period of time. All plant materials and fencing shall be arranged and maintained so as not to obscure the vision of traffic. Per Article V, Section 5, C. iv of the City of Worcester Zoning Ordinance.

Construction Noise: No person shall operate any powered construction equipment or build, erect, construct, demolish, alter, repair, excavate or engage in hoisting, grading, site work, including tree and brush removal, dredging or pneumatic hammering, or deliver construction equipment and/or supplies to the site on any building, road, tower, parking lot, machine, pipe, sewer, sidewalk, or any other construction project, except between the hours of 7:00 a.m. and 9:00 p.m. on weekdays and Saturday, and between the hours of 9:00 a.m. and 7:00 p.m. on Sundays....Per Chapter 9 Section 1A (a) (9) of the City of Worcester's Ordinance Relative to Excessive and Unreasonable Noise.

153 GREEN STREET WORCESTER, MASSACHUSETTS



DRAWING LIST

- A0 TITLE SHEET
- A1 EXISTING 1st FLOOR PLAN
- A2 EXISTING 2nd FLOOR PLAN
- A3 PROPOSED 1st FLOOR PLAN
- A4 PROPOSED 2nd FLOOR PLAN
- A5 PROPOSED 2nd FLR MEZZANINE FLOOR PLAN
- A6 PROPOSED 3rd FLOOR PLAN
- A7 PROPOSED 4th FLOOR PLAN
- A8 PROPOSED ROOF PLAN
- A9 EXISTING EAST & SOUTH ELEVATIONS
- A10 EXISTING WEST & NORTH ELEVATIONS
- A11 PROPOSED EAST & SOUTH ELEVATIONS
- A12 PROPOSED WEST & NORTH ELEVATIONS



PAUL R. LESSARD
 • REGISTERED ARCHITECT •
 13 STATION ROAD SALEM, MA 01970

TABLE TALK BUILDING
 153 GREEN STREET
 WORCESTER, MASSACHUSETTS

TITLE SHEET

REVISIONS:

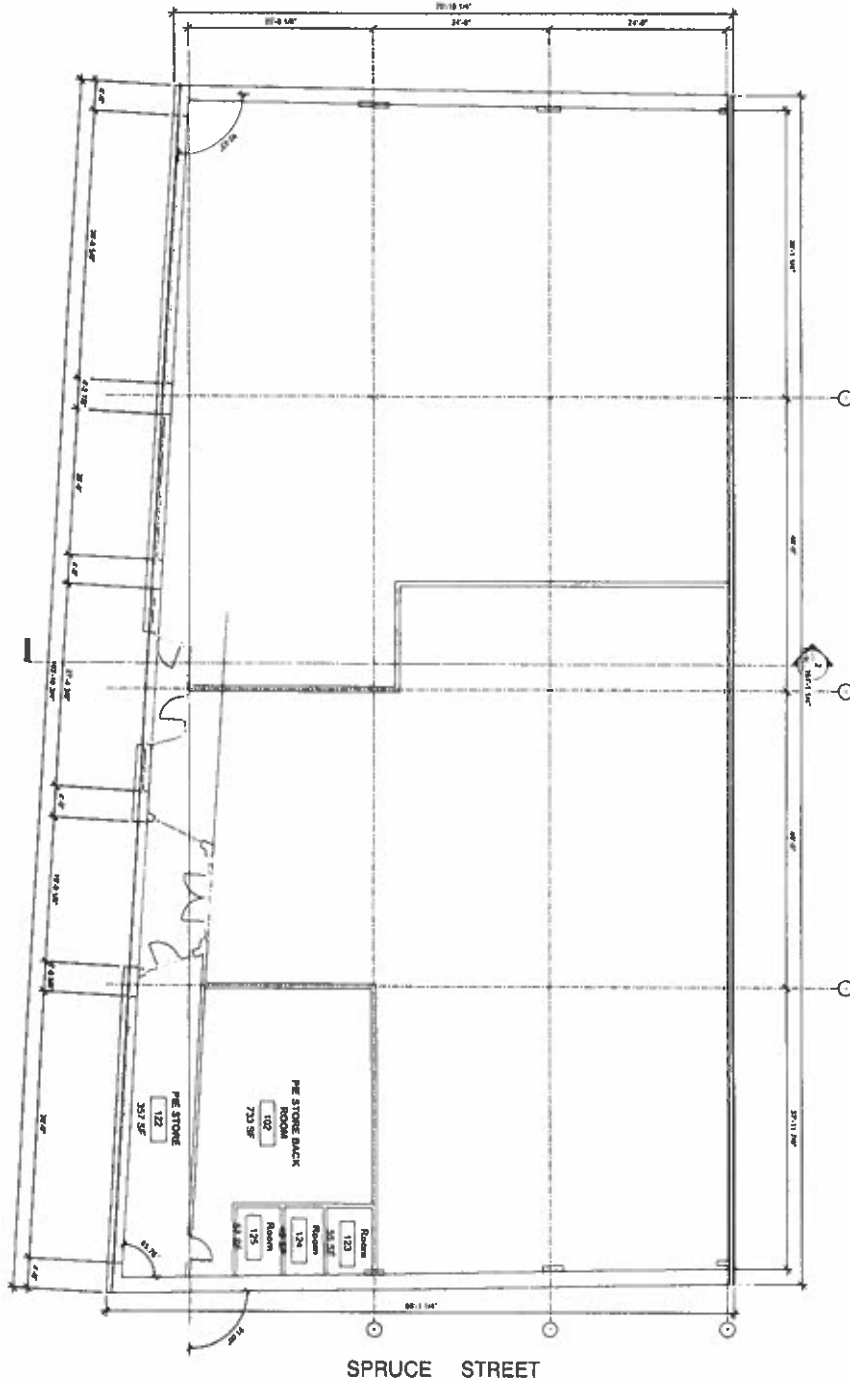
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 DATE: 8/23/23
 SCALE: AS NOTED
 DRAWN: PRL
 CHECK: _____

DRAWING NUMBER

A0

GREEN STREET

EXISTING 1st FLOOR PLAN



SPRUCE STREET

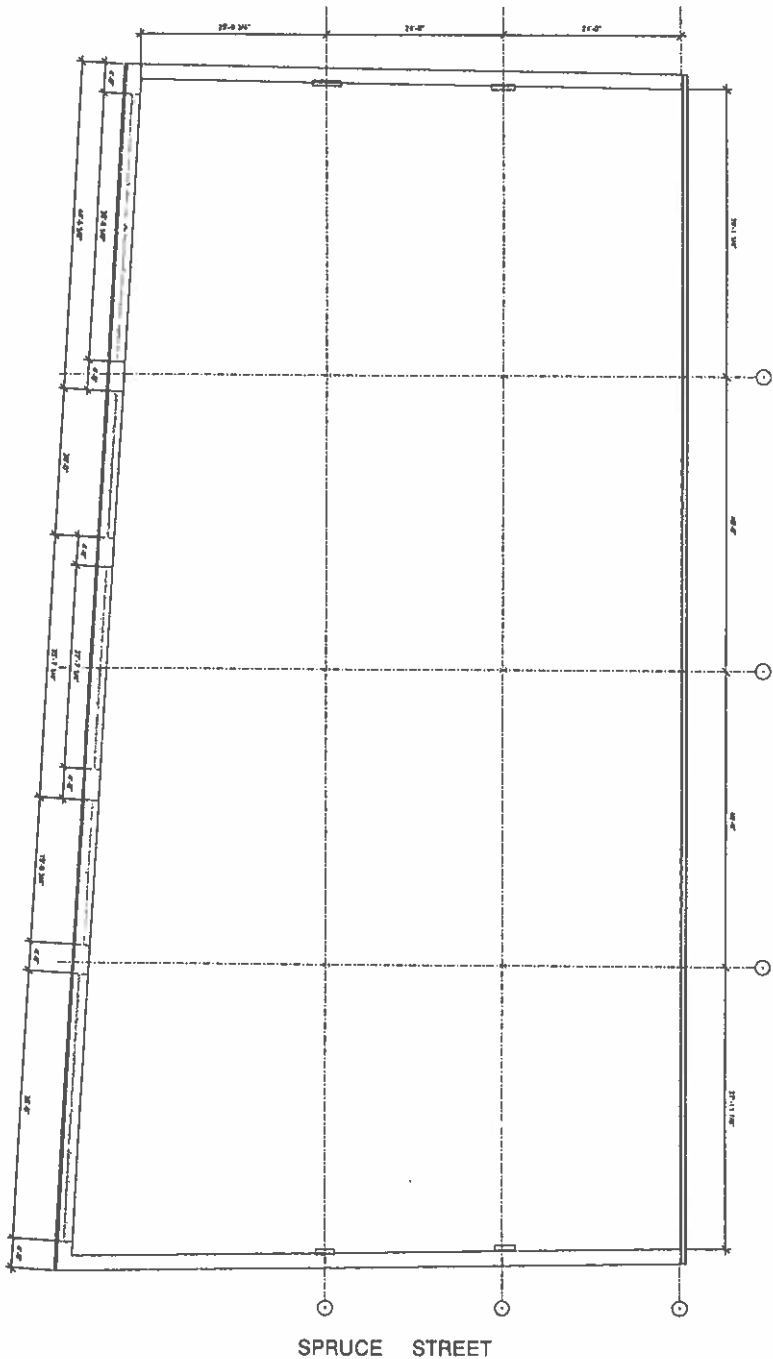


A1

DRAWING NUMBER
PROJECT NUMBER
DATE: 9/23/73
SCALE: AS NOTED
DRAWN: PRL
CHECKED:

REVISIONS:
TABLE TALK BUILDING
153 GREEN STREET
WORCESTER, MASSACHUSETTS
EXISTING 1st FLOOR PLAN

PAUL R. LESSARD
• REGISTERED ARCHITECT •
13 STATION ROAD SALEM, MA 01970



GREEN STREET

SPRUCE STREET

1 EXISTING 2nd FLOOR PLAN
1/8" = 1'-0"



A2

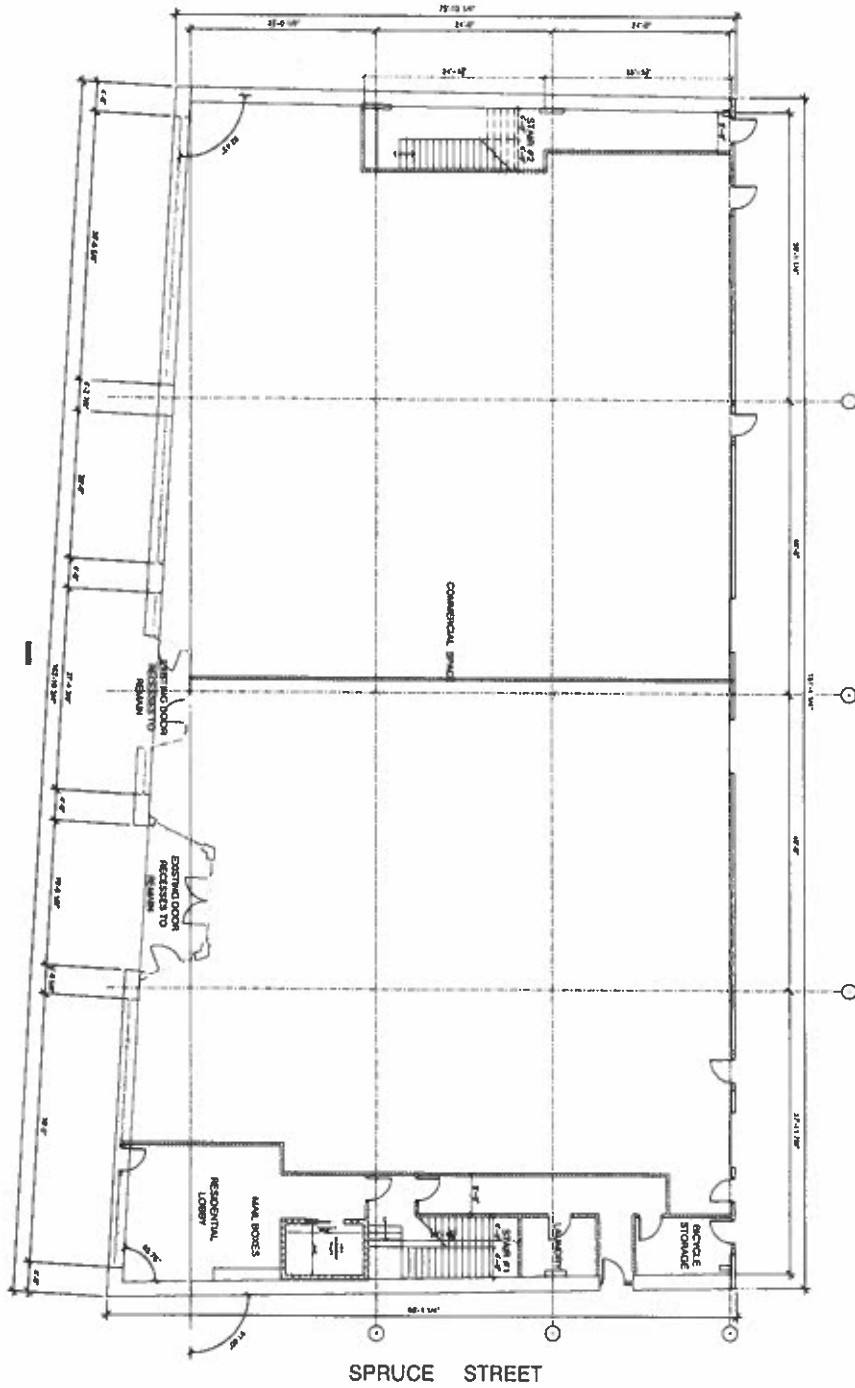
PROJECT: _____
 REVISIONS: _____
 DATE: 9/21/23
 SCALE: AS NOTED
 DRAWN: PRL
 CHECK: _____

NO.	DATE	DESCRIPTION

TABLE TALK BUILDING
 153 GREEN STREET
 WORCESTER, MASSACHUSETTS

EXISTING 2nd FLOOR PLAN

PAUL R. LESSARD
 • REGISTERED ARCHITECT •
 13 STATION ROAD SALEM, MA 01970



GREEN STREET

PROPOSED 1st FLOOR PLAN



PROJECT NUMBER: _____
 DATE: 8/23/72
 SCALE: AS NOTED
 DRAWN: PRL
 CHECKED: _____

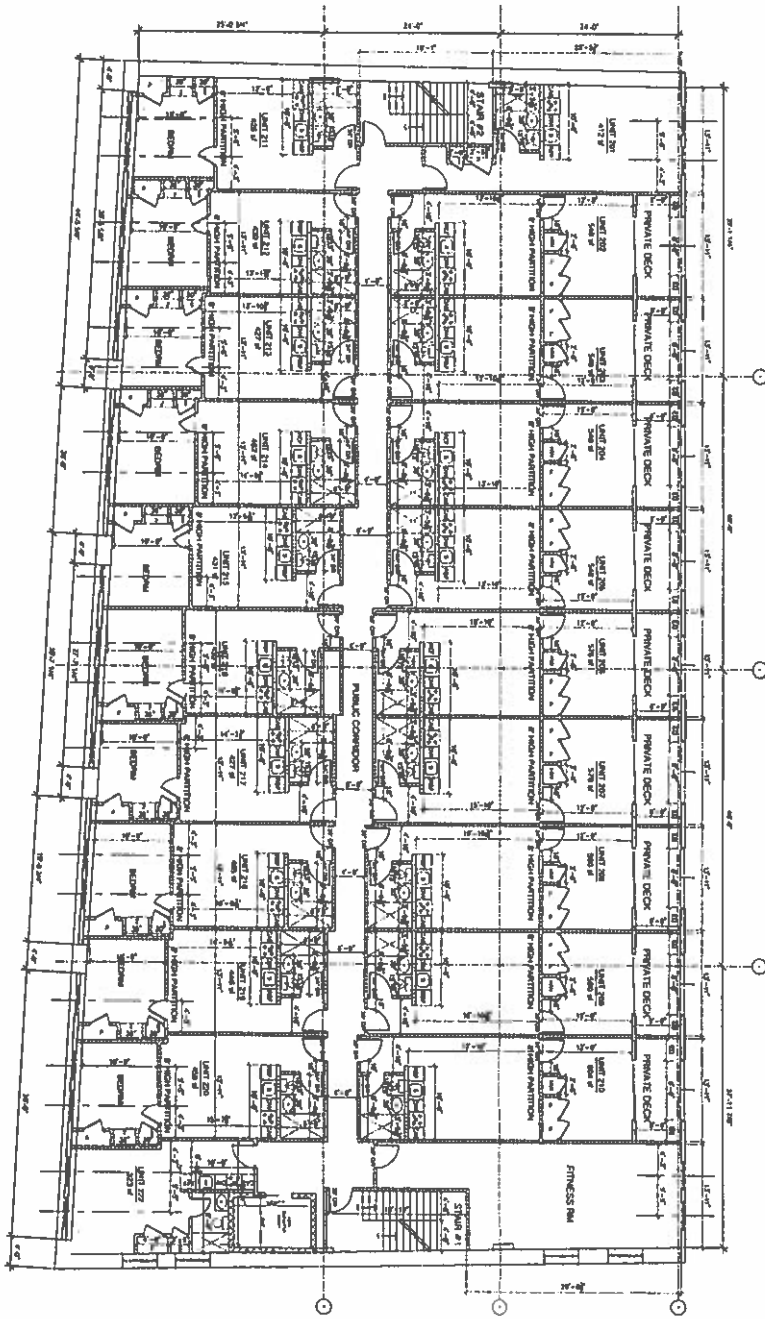
REVISIONS:

TABLE TALK BUILDING
 153 GREEN STREET
 WORCESTER, MASSACHUSETTS

PROPOSED 1st FLOOR PLAN

PAUL R. LESSARD
 • REGISTERED ARCHITECT •
 13 STATION ROAD SALEM, MA 01970

A3



PROPOSED 2ND FLOOR PLAN
 1/8" = 1'-0"

SPRUCE STREET



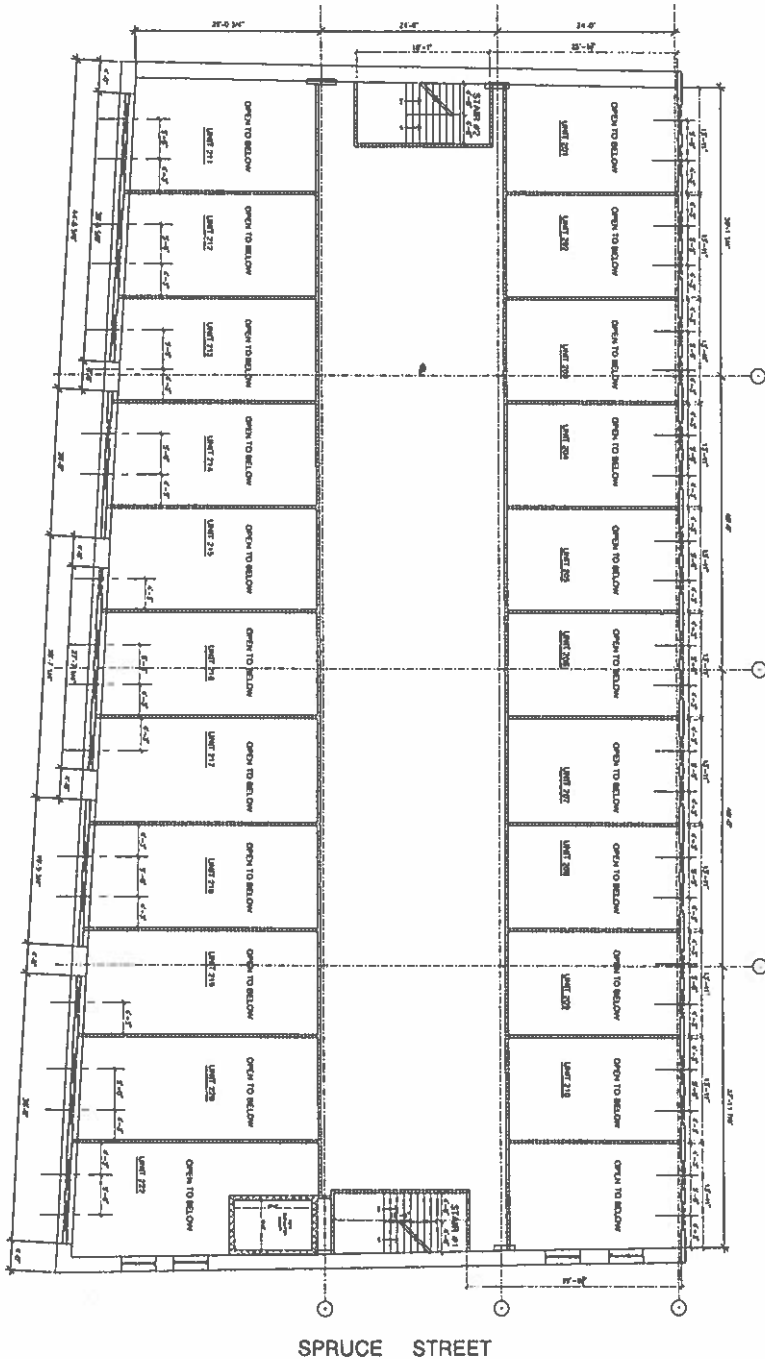
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PROJECT NUMBER: 153 GREEN ST
 DATE: 8/23/73
 SCALE: AS NOTED
 DRAWN: PRL
 CHECK: PRL
 DRAWING NUMBER

REVISIONS

TABLE TALK BUILDING
 153 GREEN STREET
 WORCESTER, MASSACHUSETTS
 PROPOSED 2ND FLOOR PLAN

PAUL R. LESSARD
 • REGISTERED ARCHITECT •
 13 STATION ROAD SALEM, MA 01970



GREEN STREET

SPRUCE STREET

1 PROPOSED 2nd FLOOR MEZZANINE FLOOR PLAN
1/8" = 1'-0"

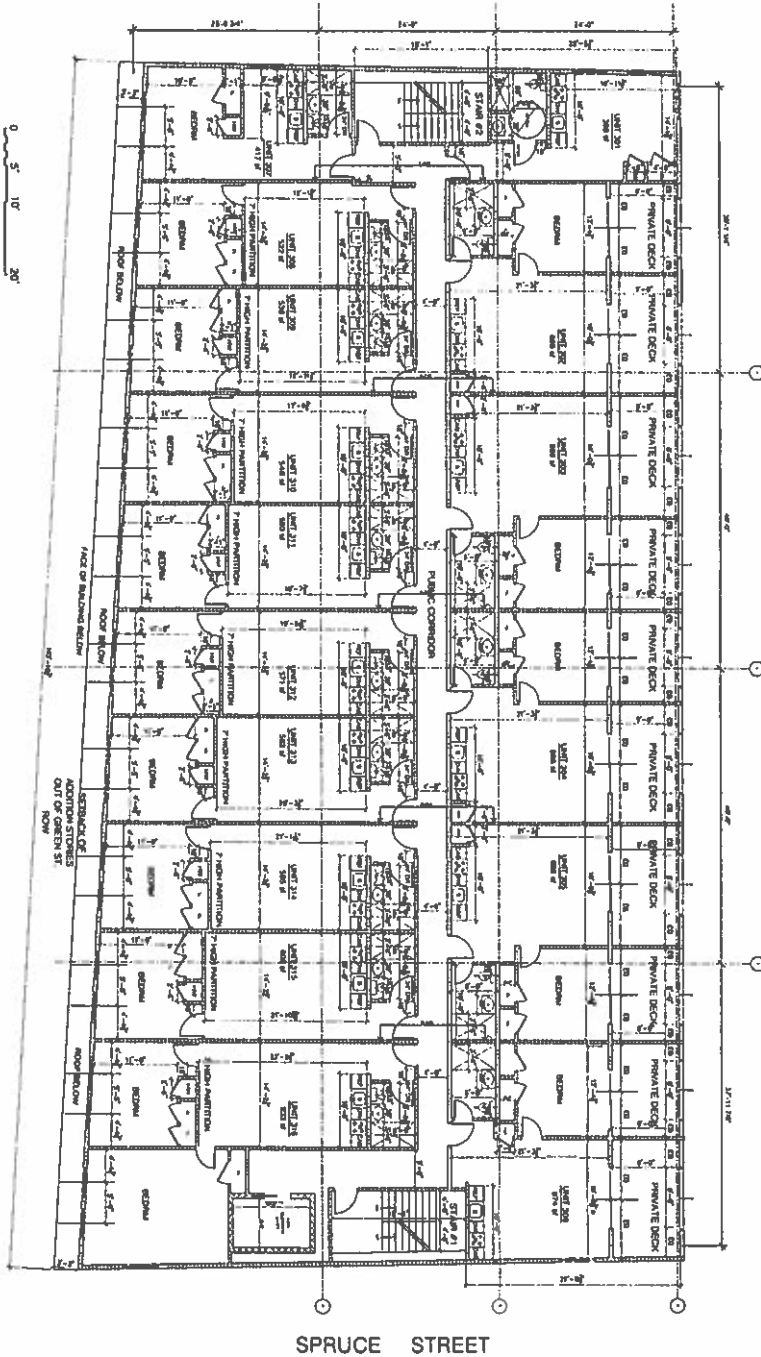


A5

PROJECT NUMBER:
DATE: 9/23/23
SCALE: AS NOTED
DRAWN BY: PRL
CHECKED BY:

REVISIONS:
TABLE TALK BUILDING
153 GREEN STREET
WORCESTER, MASSACHUSETTS
PROPOSED 2nd FLOOR MEZZANINE FLOOR PLAN

PAUL R. LESSARD
• REGISTERED ARCHITECT •
13 STATION ROAD SALEM, MA 01970



GREEN STREET

SPRUCE STREET

PROPOSED 3rd FLOOR PLAN
1/8" = 1'-0"



TABLE TALK BUILDING
153 GREEN STREET
WORCESTER, MASSACHUSETTS

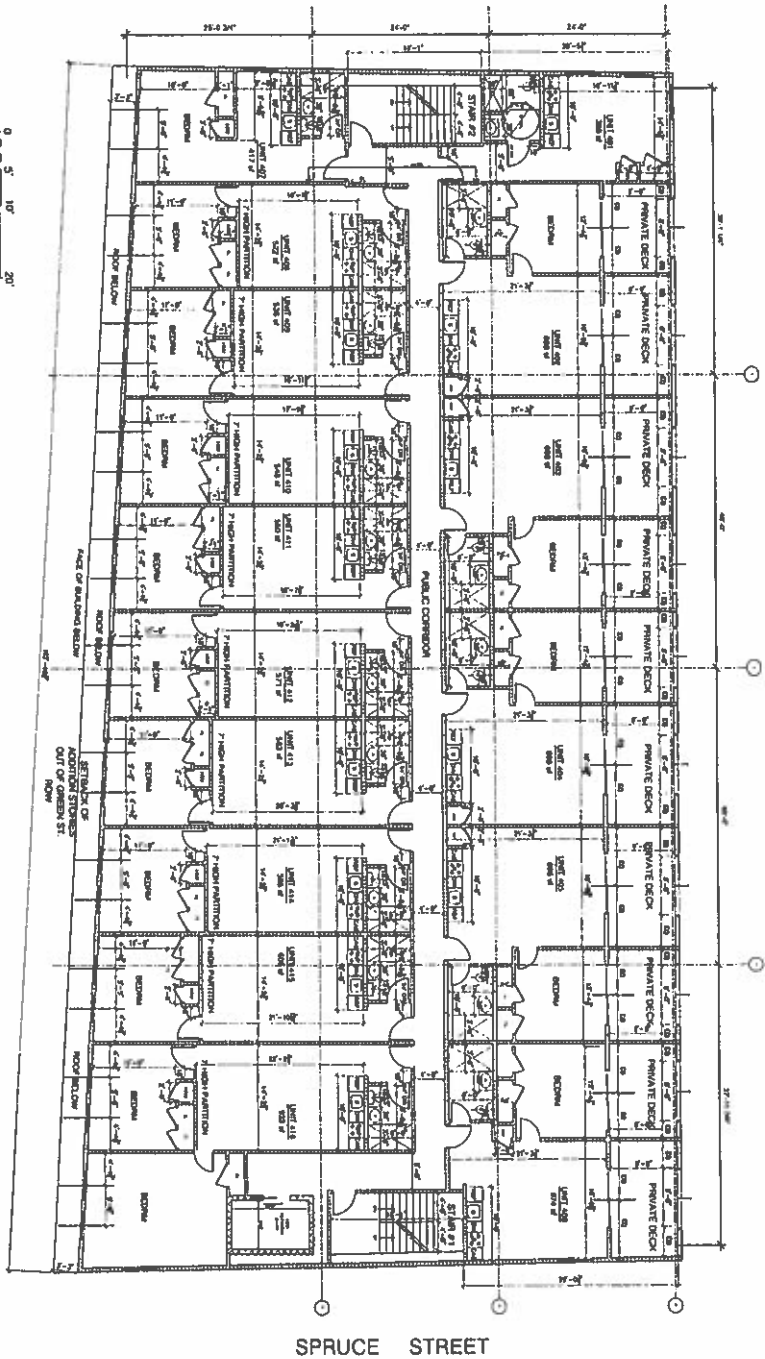
PROPOSED 3rd FLOOR PLAN

PAUL R. LESSARD
• REGISTERED ARCHITECT •
13 STATION ROAD SALEM, MA 01970

A6

PROJECT NUMBER:
DATE: 9/23/73
SCALE: AS NOTED
DRAWN: PRL
CHECK:
DRAWING NUMBER

REVISIONS:



0 5 10 20'
SCALE 1/8"=1'-0"

GREEN STREET

SPRUCE STREET

PROPOSED 4th FLOOR PLAN
1/8"=1'-0"



GRAPHIC NUMBER
A7

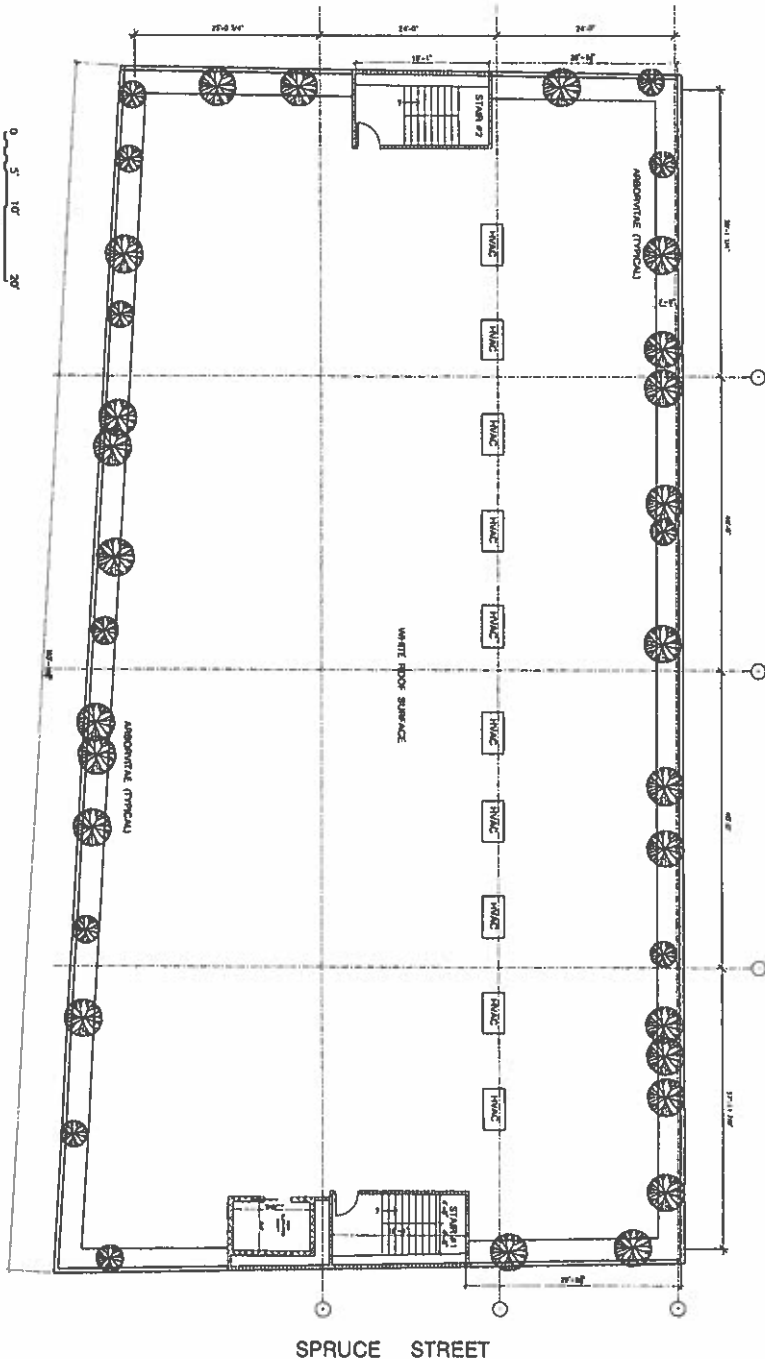
PROJECT NUMBER	
DATE	8/23/72
SCALE	AS NOTED
DRAWN BY	PR
CHECKED	

TABLE TALK BUILDING
153 GREEN STREET
WORCESTER, MASSACHUSETTS

PROPOSED 4th FLOOR PLAN

REVISIONS	

PAUL R. LESSARD
• REGISTERED ARCHITECT •
13 STATION ROAD SALEM, MA 01970



0 5 10 20
SCALE 1/8"=1'-0"

GREEN STREET

SPRUCE STREET

1 ROOF PLAN
2 1/8"=1'-0"



A8

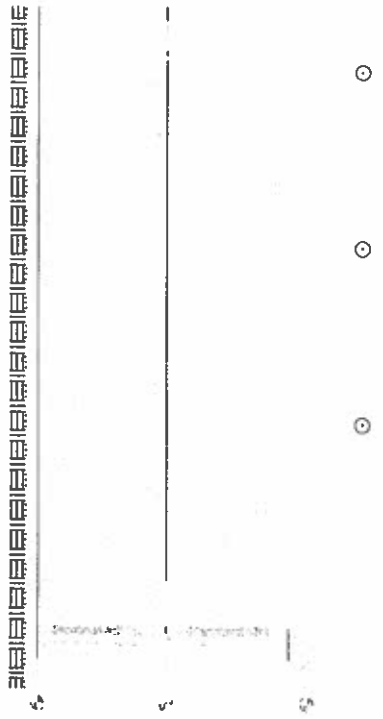
PROJECT: TABLE TALK BUILDING
DATE: 11/17/22
SCALE: AS NOTED
DRAWN: PRL
CHECK: C-111111

REVISIONS:
TABLE TALK BUILDING
153 GREEN STREET
WORCESTER, MASSACHUSETTS

PAUL R. LESSARD
• REGISTERED ARCHITECT •
13 STATION ROAD SALEM, MA 01970



1
1/8" = 1'-0"
EXISTING EAST ELEVATION



1
1/8" = 1'-0"
EXISTING SOUTH ELEVATION



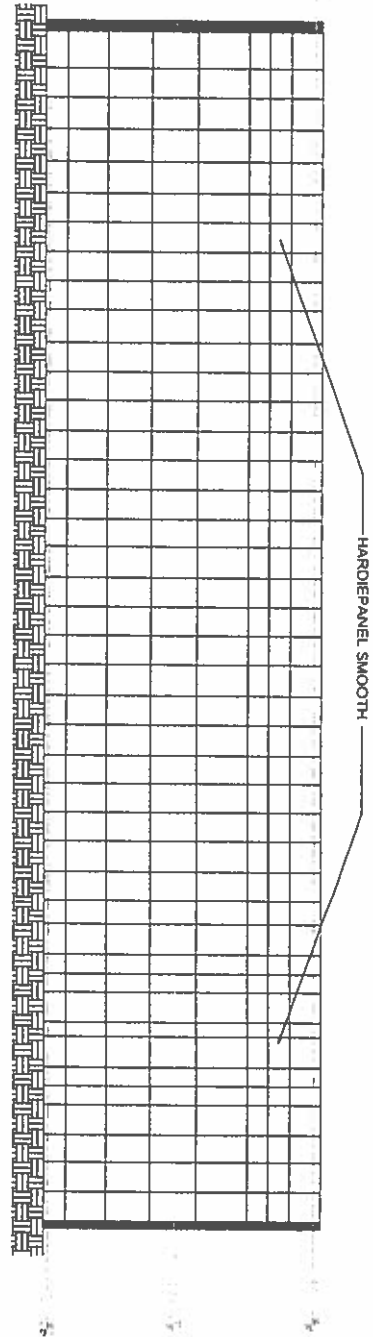
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DATE: 9/23/23
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CHECK:

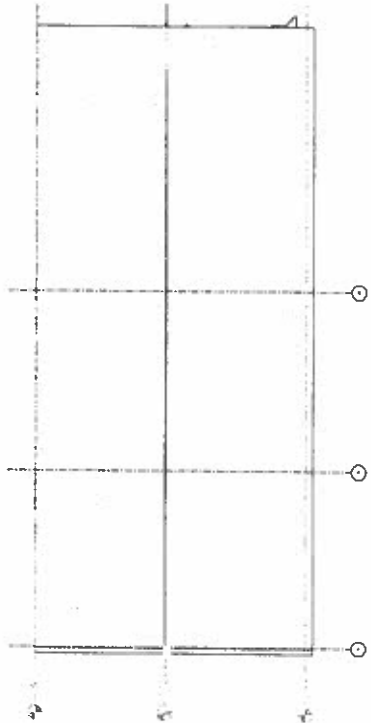
REVISIONS:

TABLE TALK BUILDING
153 GREEN STREET
WORCESTER, MASSACHUSETTS
EXISTING EAST & SOUTH EXTERIOR ELEVATIONS

PAUL R. LESSARD
• REGISTERED ARCHITECT •
13 STATION ROAD SALEM, MA 01970



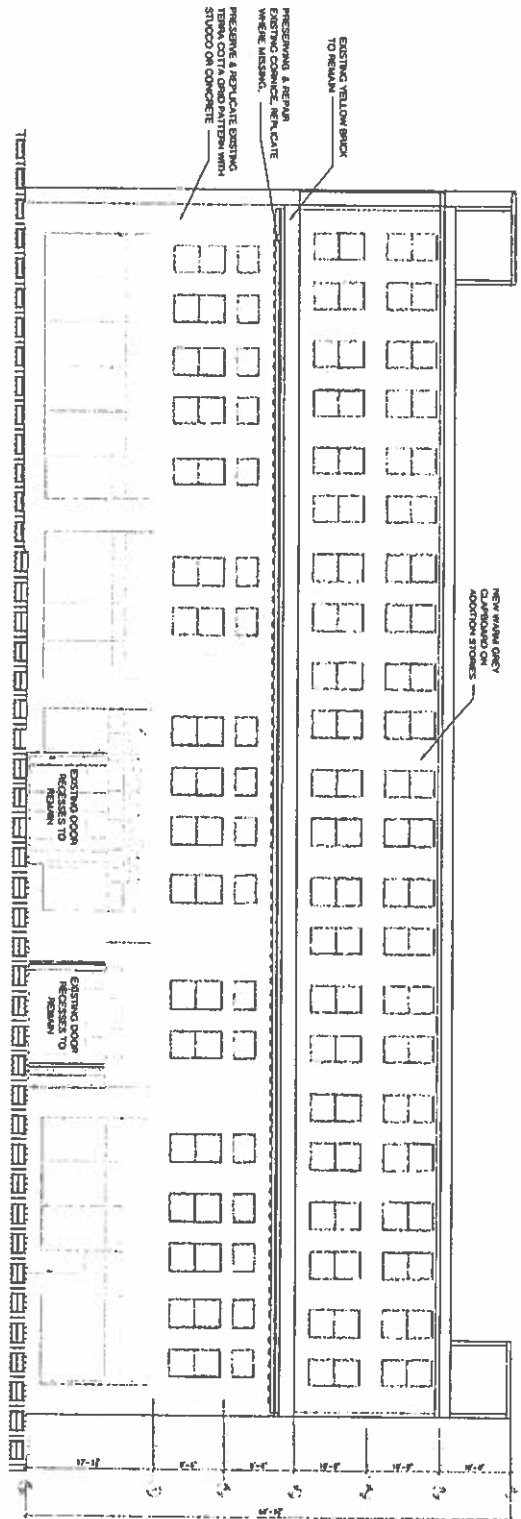
1
EXISTING WEST ELEVATION
1/8" = 1'-0"



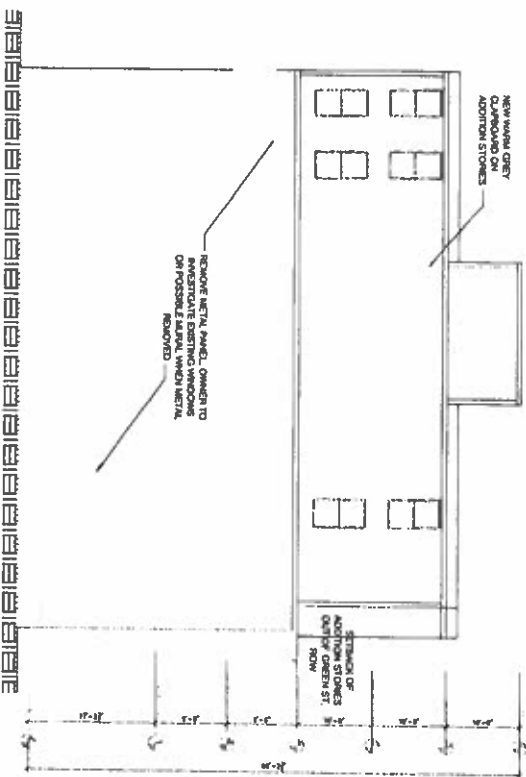
2
EXISTING NORTH ELEVATION
1/8" = 1'-0"



<p>A10</p>	DRAWING NUMBER	REVISIONS:	<p>TABLE TALK BUILDING 153 GREEN STREET WORCESTER, MASSACHUSETTS</p>	<p>PAUL R. LESSARD • REGISTERED ARCHITECT • 13 STATION ROAD SALEM, MA 01970</p>
	PROJECT NUMBER: DATE: 9/23/23 SCALE: AS NOTED DRAWN: PRL CHECKED:		EXISTING WEST & NORTH EXTERIOR ELEVATIONS	



PROPOSED EAST ELEVATION
1/8" = 1'-0"



PROPOSED SOUTH ELEVATION
1/8" = 1'-0"



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 • REGISTERED ARCHITECT •
 13 STATION ROAD SALEM, MA 01970

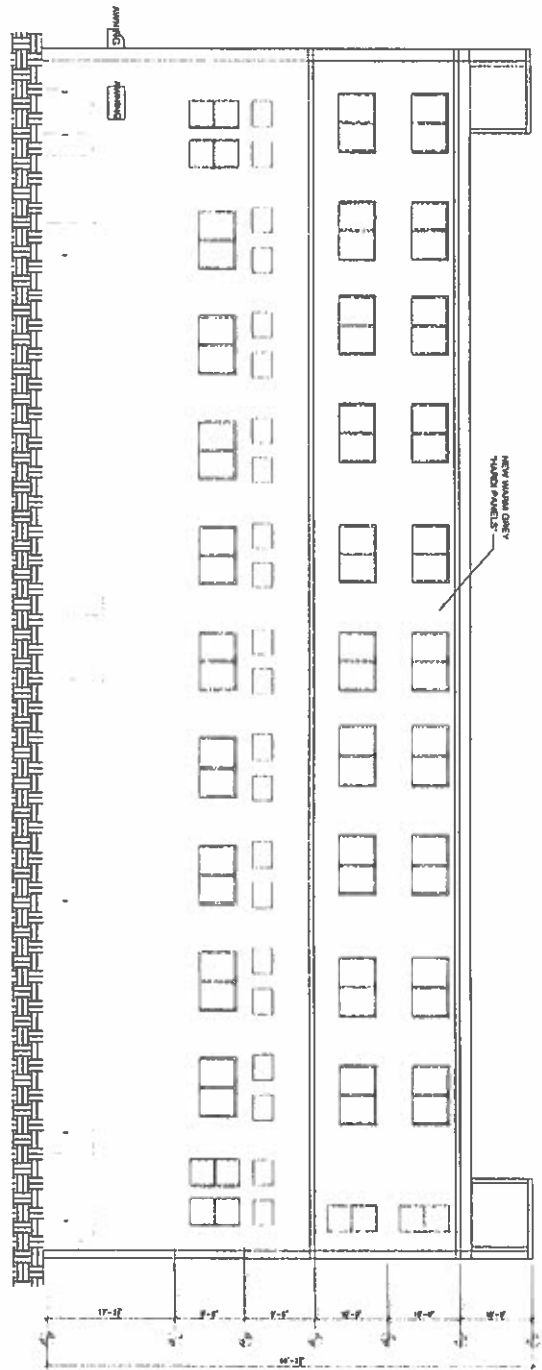
TABLE TALK BUILDING
 153 GREEN STREET
 WORCESTER, MASSACHUSETTS

PROPOSED EAST & SOUTH EXTERIOR ELEVATIONS

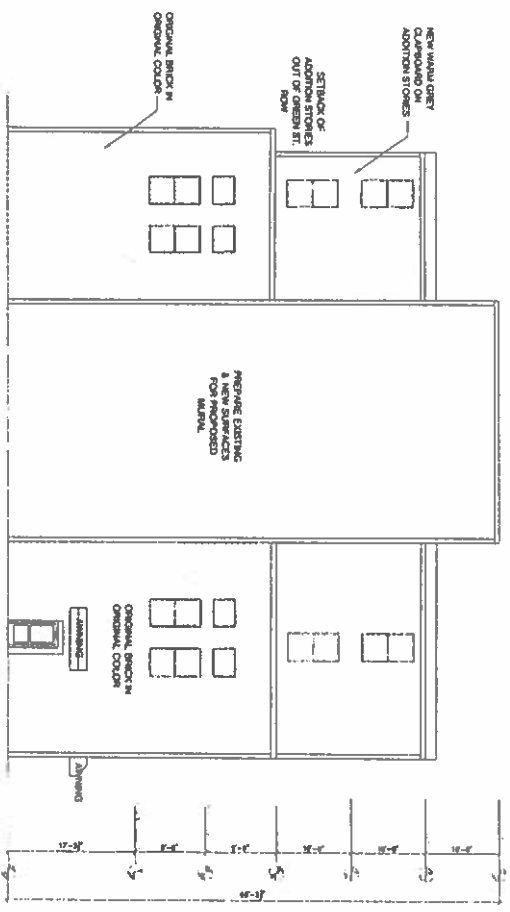
REVISIONS:

PROJECT NUMBER:
 DATE: 8/23/23
 SCALE: AS NOTED
 DRAWN: PRL
 CHECK:

DRAWING NUMBER:
A11



PROPOSED WEST ELEVATION
1/8" = 1'-0"



PROPOSED NORTH ELEVATION
1/8" = 1'-0"

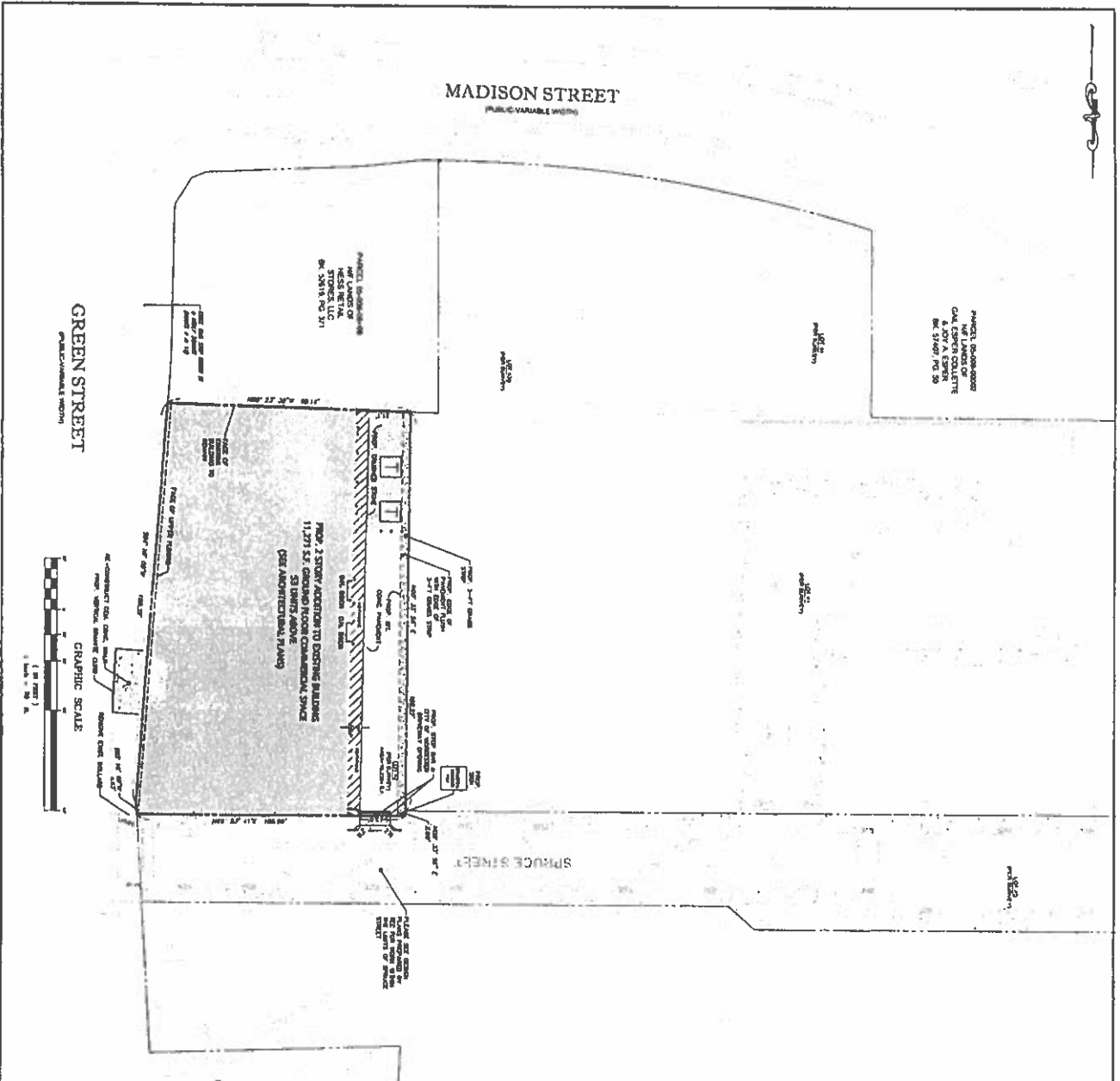


PAUL R. LESSARD
 • REGISTERED ARCHITECT •
 13 STATION ROAD SALEM MA 01970

TABLE TALK BUILDING
 153 GREEN STREET
 WORCESTER, MASSACHUSETTS
 PROPOSED WEST & NORTH EXTERIOR ELEVATIONS

PROJECT NUMBER: 11176
 DATE: 8/23/11
 DRAWN BY: AS
 CHECKED BY: RL

A12
 DRAWING NUMBER



LEGEND - SITE LAYOUT

PROPERTY LINE	_____
PROPOSED STRINGS	
BUILDING	▭
PARKING COURT	①
CONCRETE SIDEWALK	—
PROP. CURB	—
PROP. RETAINING WALL	▬
HANDICAP PARKING	♿
PROPOSED TRAFFIC SIGN	♣

LAND USAGE TABLE

ITEM	REQUIRED (AC-4.1)	REQUIRED (CDDC)	EXISTING	PROPOSED
TOTAL	-	-	14,206 SQ. FT.	14,206 SQ. FT.
MINIMUM LOT AREA	-	-	14,206 SQ. FT.	14,206 SQ. FT.
MINIMUM LOT FRONTAGE	-	-	142.95 FT.	142.95 FT.
MAX. BUILDING COVERAGE	-	-	74.1%	74.1%
MAX. FLOOR AREA RATIO	-	-	3.41	3.41
MINIMUM FRONT YARD SETBACK (RESID. ST.)	-	-	0 FT.	0 FT.
MINIMUM SIDE YARD SETBACK	-	-	0 FT.	0 FT.
MINIMUM REAR YARD SETBACK	-	-	31.1 FT.	31.1 FT.
MAXIMUM HEIGHT	-	-	2 STORIES	4 STORIES
MAX. SIDEWALK COVERAGE	-	-	100%	100%

PARKING CALCULATIONS

COMMENT	REQUIRED	PROPOSED
2) RESIDENTIAL UNITS	0 SPACES	0 PROPOSED SPACES
11,271 SQ. FT. RETAIL	NO MINIMUM REQUIRED IN RE-4-D ZONING SPECIFIC	0 PROPOSED SPACES
TOTAL	0 SPACES	0 SPACES



APPLICANT:
Anthony Rossi
345 Boylston Street
Newbury, MA 02458

DIVISION NO. C-1
DRAWING TITLE: **Site Layout Plan**

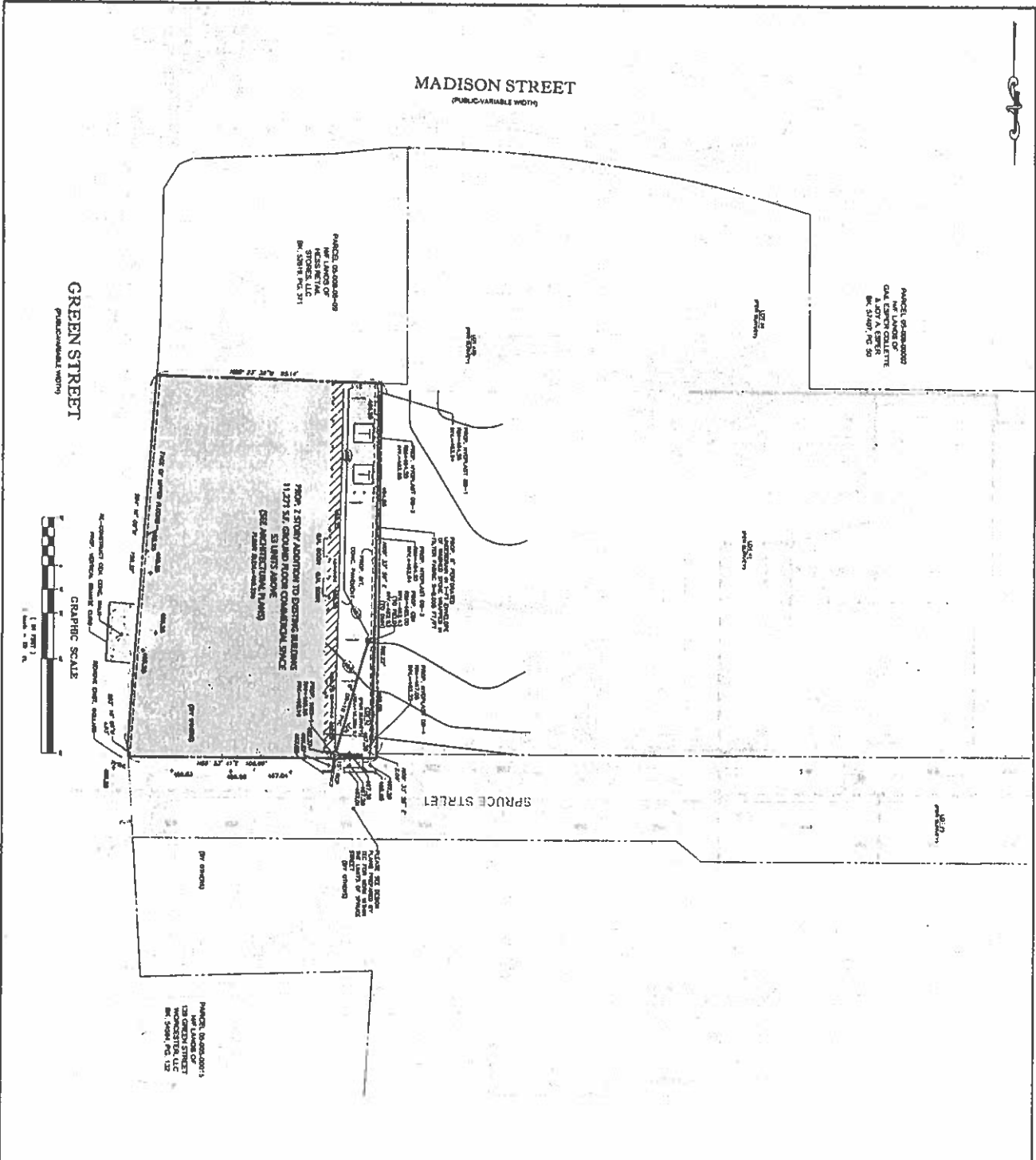


PROJECT: **Proposed Site Plan Modification**
153 Green Street
(The Mall & Block 5 Part of Lot 1)
Worcester, Massachusetts

PROJECT #: 23461410
DATE: 10/05/20, 2023
SCALE: AS NOTED
DWG FILE NAME: 23461410.dwg
DESIGN BY: Colin Beach
CHECKED BY: Richard A. Sahn, P.E.

PREPARED BY:
Engineering Alliance, Inc.
Civil Engineering & Land Planning Consultants
184 Central Street
Levittown, MA 01808
Tel: (781) 231-1349
Fax: (781) 417-0020

DATE	DESCRIPTION
1/7/23	ELIMINATE RETAINING WALL
6/25/23	REVISE PER CONDITIONS OF DEFINITIVE SITE PLAN DECISION
5/12/23	ADD GRASS STRIP, CLOSE CURB CUT & ELIMINATE LOADING DOOR
6/2/23	ELIMINATE GARAGE DOORS
6/2/23	BY SUBMITTING FOR APPROVAL



LEGEND	
PROPERTY LINE	
PROPOSED BUILDING	
PROPOSED DRIVE LINE	
PROPOSED CATCH BASIN	
PROPOSED DRIVE MANHOLE	
PROPOSED SPOT SIGN	
PROPOSED CONTROL	

APPLICANT:
Anthony Rossi
 343 Baylson Street
 Newton, MA 02459

 DWG. NO. **C-2**
 DRAWING TITLE
Grading & Drainage Plan



Proposed Site Plan Modification
153 Green Street
 (7th Map 5 Block 5 Part of Lot 1)
Worcester, Massachusetts

 PROJECT P. 23-01118 DATE: March 26, 2023
 SCALE: AS NOTED DWG FILE NAME: 23-01118.dwg

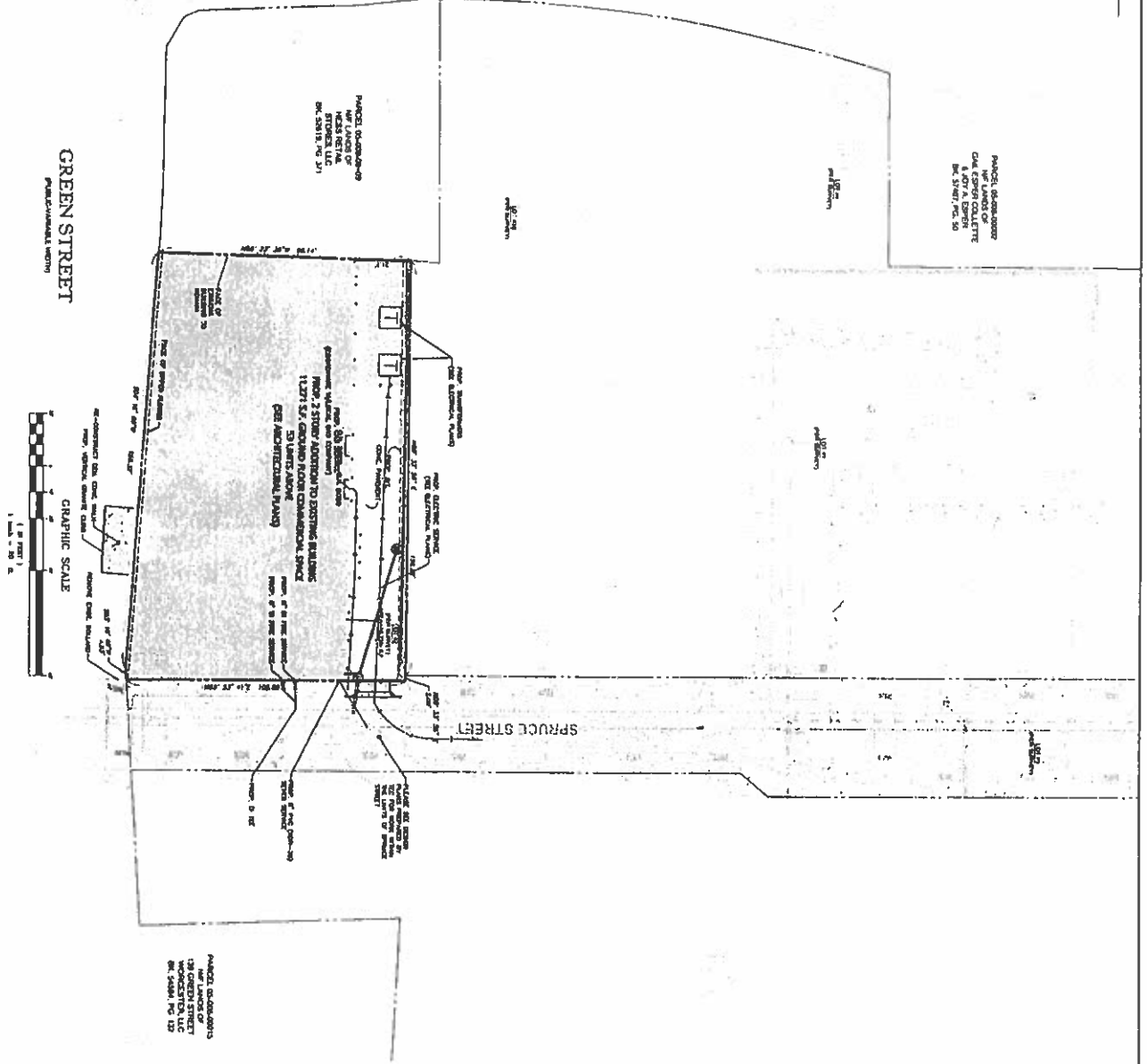
PREPARED BY:

Engineering Alliance, Inc.
 Civil Engineering & Land Planning Consultants
 194 Central Street 1930 Lafayette Road
 Springfield, MA 01105 Springfield, MA 01105
 Tel: (781) 231-1349 Tel: (401) 610-7100
 Fax: (781) 617-0070 Fax: (401) 610-7181

5/7/23			MOOPY CATCH BASIN OUTLET AND REMOVE SET WALL
8/5/23			REVISE PER CONDITIONS OF DEFENSIVE SITE PLAN DISCUSSION
5/12/23			ADD GRASS STRIP, CLOSE CURB CUT & ELIMINATE LOADING DOOR

MADISON STREET
(PUBLIC/VARIABLE WIDTH)

GREEN STREET
(PUBLIC/VARIABLE WIDTH)



LEGEND	
PROPOSED LOT	---
PROPOSED BUILDING	---
PROPOSED SEWER LINE	---
PROPOSED SEWER MANHOLE	○
PROPOSED WATER LINE	---
PROPOSED WATER VALVE	○
PROPOSED GAS LINE	---
PROPOSED ELECTRIC LINE	---
PROPOSED GAS VALVE	○

GENERAL UTILITY NOTES:

1. ALL UTILITIES SHOWN ARE BASED ON THE RECORD DRAWINGS AND FIELD SURVEY.
2. THE LOCATION OF ALL UTILITIES SHOWN IS APPROXIMATE.
3. THE DEPTH OF ALL UTILITIES SHOWN IS APPROXIMATE.
4. THE LOCATION OF ALL UTILITIES SHOWN IS APPROXIMATE.
5. THE DEPTH OF ALL UTILITIES SHOWN IS APPROXIMATE.
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APPLICANT:
Anthony Rossi
345 Boylston Street
Newtown, MA 02459

DWG. NO. **C-3** DRAWING TITLE: **Utility Plan**



PROJECT: **Proposed Site Plan Modification**
153 Green Street
(Main Block) Worcester, Massachusetts

PROJECT # 2341418 DATE: March 28, 2023

SCALE: AS NOTED DRAWING NAME: 23-01418.dwg

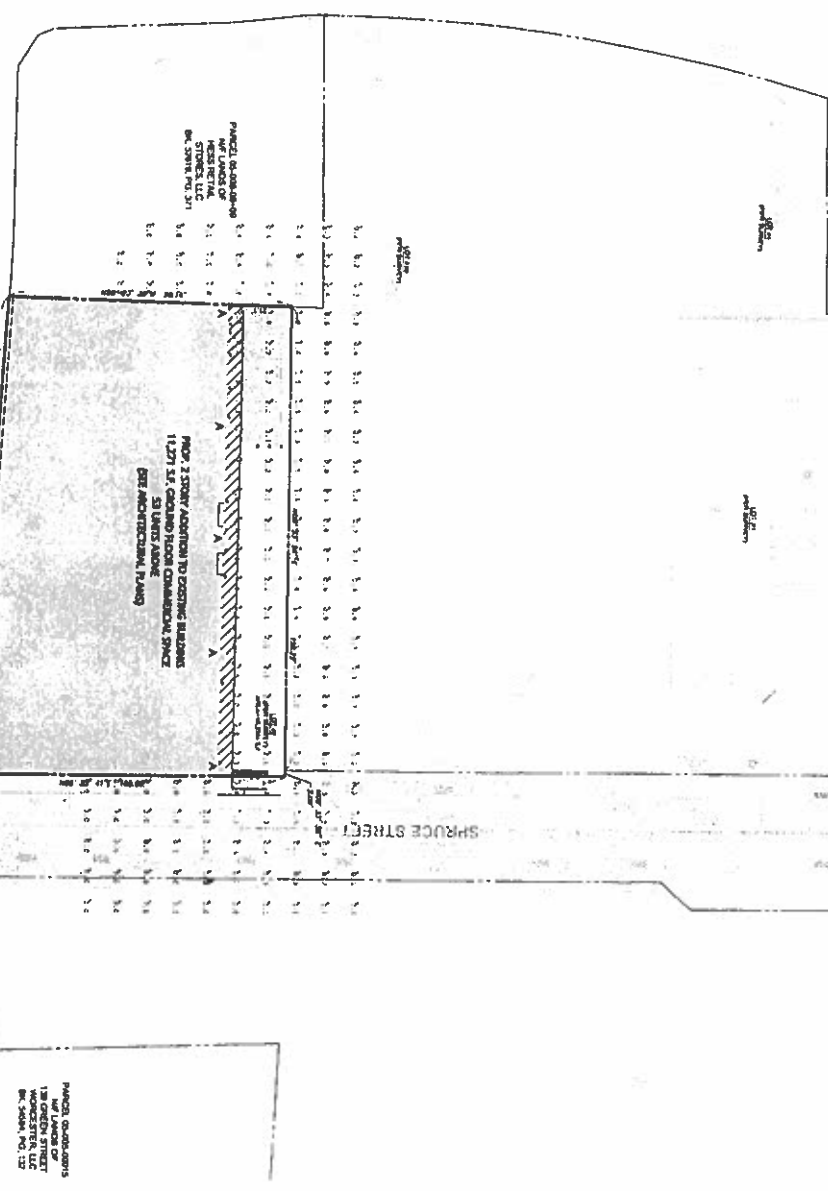
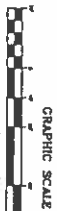
DESIGN BY: Casey Koch CHECKED BY: Richard A. Gales, P.E.

PREPARED BY:
Engineering Alliance, Inc.
Civil Engineering & Land Planning Consultants
194 Central Street
Saugus, MA 01906
Tel: (781) 231-1349 Fax: (781) 417-0030

DATE	DESCRIPTION OF REVISION
1/7/23	ELIMINATE RETAINING WALL
1/25/23	REVISE PER CONDITIONS OF DEFINITIVE SITE PLAN DECISION
5/15/23	ADD GRASS STRIP, CLOSE CURB CUT & ELIMINATE LOADING DOOR
5/23/23	ELIMINATE GARAGE DOORS
DATE	DESCRIPTION OF REVISION

MADISON STREET
(PUBLIC-PRIVATE PARTNERSHIP)

GREEN STREET
(PUBLIC-PRIVATE PARTNERSHIP)



PANEL 00-000-0000
NE LAND OF
GREEN STREET
4, 5, 6, 7, 8, 9, 10, 11, 12
BR. 00001, PG. 20

PANEL 00-000-0000
NE LAND OF
GREEN STREET
4, 5, 6, 7, 8, 9, 10, 11, 12
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PANEL 00-000-0000
NE LAND OF
GREEN STREET
4, 5, 6, 7, 8, 9, 10, 11, 12
BR. 00001, PG. 20

NUMERIC SUMMARY

Light	Quantity	Wattage	Volts	Wattage	Wattage	Wattage	Wattage
High Pressure Sodium	1	150	120	18000	18000	18000	18000
Low Voltage Sodium	1	150	120	18000	18000	18000	18000
Fluorescent	1	150	120	18000	18000	18000	18000
LED	1	150	120	18000	18000	18000	18000

LUMINAIRE SCHEDULE

Code	Description	Quantity	Notes
1	High Pressure Sodium	1	150W, 120V, 18000lm
2	Low Voltage Sodium	1	150W, 120V, 18000lm
3	Fluorescent	1	150W, 120V, 18000lm
4	LED	1	150W, 120V, 18000lm

LIGHTING NOTES

1. The lighting design is based on the proposed site plan and the existing site conditions.
2. The lighting design is based on the proposed site plan and the existing site conditions.
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APPLICANT:
Anthony Rossi
345 Boylston Street
Newton, MA 02459

DWG. NO.
C-5

DRAWING TITLE:
Lighting Plan



PROJECT:
Proposed Site Plan Modification
153 Green Street
(See Map 5 Block 5 Part of Lot 1)
Worcester, Massachusetts

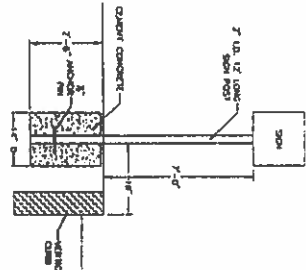
PROJECT #: 23-01110 DATE: March 23, 2023

SCALE: AS NOTED DWG FILE NAME: 23-01110.dwg

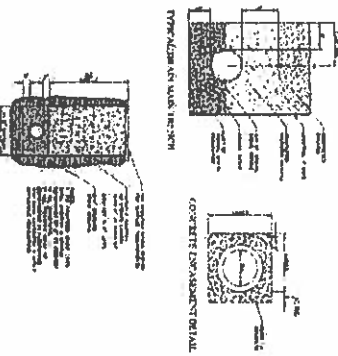
DESIGN BY: Cathryn CHECKED BY: Richard A. Lutz, P.E.

PREPARED BY:
Engineering Alliance, Inc.
Civil Engineering & Land Planning Consultants
194 Central Street
Northampton, MA 01060
Tel: (413) 231-1348
Fax: (413) 231-1348

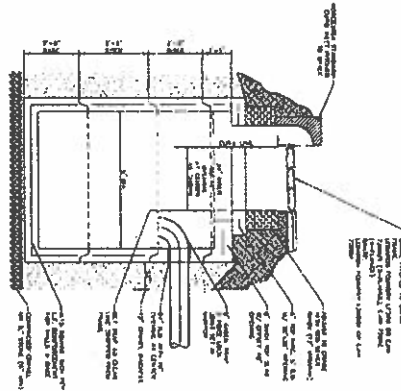
DATE	REVISION
8/2/23	ILLUMINATE RETAINING WALL
6/29/23	REVISE PER CONDITIONS OF DEPARTING SITE PLAN DESIGN



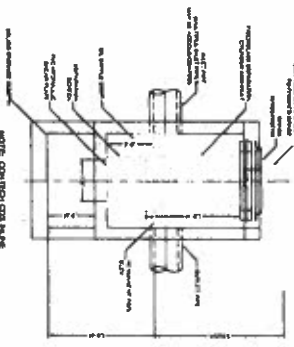
12" SIGN POLE INSTALLATION



TYPICAL FRENCH DETAILS

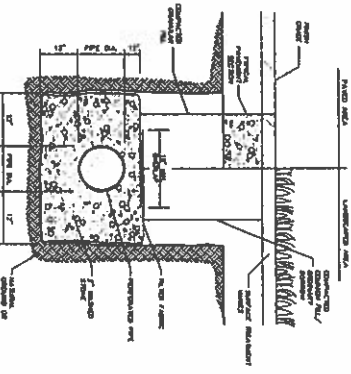
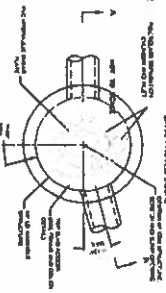


TYPICAL PRECAST CATCH BASIN

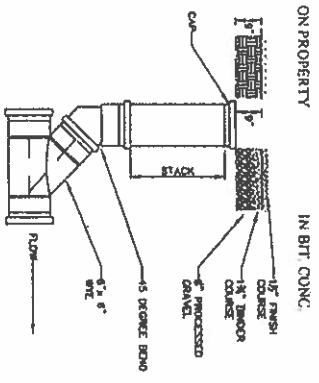


STATIONARY SIGN

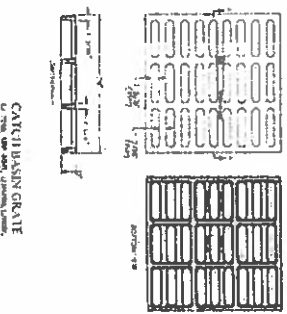
PLAN VIEW OF WATER QUALITY MANHOLE



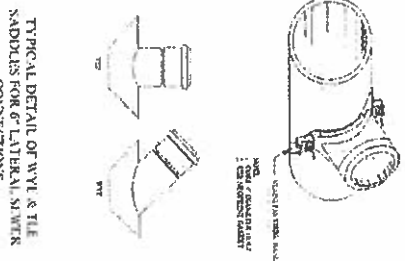
INFILTRATION TRENCH



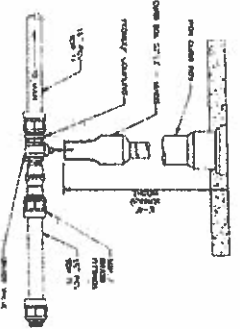
TYPICAL CLEANOUT



CATCH BASIN GRATE



TYPICAL DETAIL OF W/ & TILE SADDLES FOR 6" LATERAL SWITER CONNECTIONS



SERVICE CURB STOP & BOX

APPLICANT: **Anthony Rossi**
343 Bayshore Street
Newton, MA 02459

DWS. NO. **C-6** DRAWING TITLE **Construction Details**



PROJECT: **Proposed Site Plan Modification**
153 Green Street
(Tax Map 5 Block 5 Part of Lot 1)
Worcester, Massachusetts

PROJECT #: 23-01-016 DATE: March 29, 2023
SCALE: AS NOTED DWG FILE NAME: 23-01-016.dwg
DESIGN BY: Colin Leach CHECKED BY: Robert A. Sabo, P.E.

PREPARED BY: **Engineering Alliance, Inc.**
Civil Engineering & Land Planning Consultants
194 Central Street
Saugus, MA 01906
Tel: (978) 221-1248 Fax: (978) 417-0020

1950 Lafayette Road
Portsmouth, NH 03801
Tel: (603) 810-2100 Fax: (603) 810-7101

DATE	DESCRIPTION OF REVISION
5/21/23	REVISED PER CONDITIONS OF DEEMPTIVE SITE PLAN DECISION